

24-36 LANGSTON PLACE, EPPING

DA DOCUMENT

ARCHITECTURAL DRAWING LIST

- DA - 0000 COVER SHEET
- 7217 SURVEY PLAN
- DA - 0001 SITE ANALYSIS
- DA - 0002 SITE PLAN
- DA - 0003 DEMOLITION PLAN
- DA - 1001 B5 & B4 & B3 - 2 & B1 PLAN
- DA - 1002 L00, L00 UPPER & L01 PLAN
- DA - 1003 L02, L03-08, L09-23 & L24 PLAN
- DA - 1004 L25, L26 & ROOF PLAN
- DA - 1101 ADAPTABLE & LIVABLE UNIT
- DA - 2001 ELEVATION_NORTH
- DA - 2002 ELEVATIONS_EAST & WEST
- DA - 2003 ELEVATION_SOUTH
- DA - 2004 ELEVATION_STREET
- DA - 3001 SECTION A
- DA - 3002 SECTION B
- DA - 4001 SHADOW DIAGRAM - EXISTING
- DA - 4002 SHADOW DIAGRAM - EXISTING
- DA - 4003 SHADOW DIAGRAM - PROPOSED DEVELOPMENT
- DA - 4004 SHADOW DIAGRAM - PROPOSED DEVELOPMENT
- DA - 4005 SHADOW DIAGRAM - PROPOSED DEVELOPMENT WITH FUTURE NORTH DEVELOPMENT
- DA - 4006 SHADOW DIAGRAM - PROPOSED DEVELOPMENT WITH FUTURE NORTH DEVELOPMENT
- DA - 4007 SHADOW DIAGRAM-ADG COMPLIED MASSING +PROPOSED DEVELOPMENT WITH FUTURE NORTH DEVELOPMENT
- DA - 4008 SHADOW DIAGRAM-ADG COMPLIED MASSING +PROPOSED DEVELOPMENT WITH FUTURE NORTH DEVELOPMENT
- DA - 4101 SUN EYE VIEW - EXISTING
- DA - 4102 SUN EYE VIEW - PROPOSED DEVELOPMENT
- DA - 4103 SUN EYE VIEW - PROPOSED DEVELOPMENT WITH FUTURE DEVELOPMENT NORTH
- DA - 4104 SUN EYE VIEW-ADG COMPLIED MASSING +PROPOSED DEVELOPMENT WITH FUTURE NORTH DEVELOPMENT
- DA - 5001 SUN ACCESS COMPLIANCE
- DA - 5002 ZERO SOLAR ACCESS
- DA - 5101 CROSS VENTILATION COMPLIANCE
- DA - 5201 GFA
- DA - 6001 PERSPECTIVE 1
- DA - 6002 PERSPECTIVE 2
- DA - 6003 PERSPECTIVE 3
- DA - 6004 PERSPECTIVE 4
- DA - 6005 MATERIAL BOARD
- DA - 7001 STREET FRONT
- DA - 7002 DETAIL_SECTION
- DA - 7003 PROPOSED ALIGNMENT SECTIONS

SCHEDULE OF APARTMENTS (MIX/YIELD)

YIELD				
LEVEL	1B	2B	3B	UNIT/LEVEL
LEVEL 02	4	1	0	5
LEVEL 03	4	1	0	5
LEVEL 04	4	1	0	5
LEVEL 05	4	1	0	5
LEVEL 06	4	1	0	5
LEVEL 07	4	1	0	5
LEVEL 08	4	1	0	5
LEVEL 09	1	3	0	4
LEVEL 10	1	3	0	4
LEVEL 11	1	3	0	4
LEVEL 12	1	3	0	4
LEVEL 13	1	3	0	4
LEVEL 14	1	3	0	4
LEVEL 15	1	3	0	4
LEVEL 16	1	3	0	4
LEVEL 17	1	3	0	4
LEVEL 18	1	3	0	4
LEVEL 19	1	3	0	4
LEVEL 20	1	3	0	4
LEVEL 21	1	3	0	4
LEVEL 22	1	3	0	4
LEVEL 23	1	3	0	4
LEVEL 24	0	0	3	3
LEVEL 25	0	1	3	4
TOTAL	43	53	6	102

UNIT MIX		
OCCUPANCY	TOTAL	PERCENTAGE
1B	43	42.2%
2B	53	52.0%
3B	6	5.9%
TOTAL: 102	102	100.0%

GFA & HEIGHT

24-36 LANGSTON PLACE	
SITE AREA	1460 SQM
LAND ZONE	B2
MAXIMUM FSR	6
MAXIMUM GFA	8,760 SQM
PROPOSED GFA	8,760 SQM
COMMERCIAL	550 SQM
RESIDENTIAL	7954 SQM
RETAIL	256 SQM
TOTAL	8760 SQM
HEIGHT LIMIT	72 M
PROPOSED HEIGHT	87.8 M
PROPOSED LEVEL	27 STOREY
PROPOSED BASEMENT	5 STOREY

CAR PARKING PROVIDED BY CATEGORY SIZE		
Type	Count	
Standard	106	
Accessible	3	
Adaptable	11	
Total: 120	120	

MOTOR BIKE - BICYCLE PROVIDED		
Type	Count	
Bicycle	114	
Motor Bike	9	
Total: 123	123	

ADAPTABLE UNIT YIELD			
1B	2B	3B	TOTAL
4	6	1	11
Yes			10.8%

LIVABLE UNIT YIELD			
1B	2B	3B	TOTAL
15	7	0	22
Yes			21.6%

CROSS VENTILATION COMPLIANCE UP TO LEVEL 8		
COMPLY	COUNT	PERCENTAGE
TOTAL UNITS: 35		
Yes	28	80.0%
TOTAL: 28	28	80.0%

SUN ACCESS COMPLIANCE		
COMPLY	COUNT	PERCENTAGE
TOTAL UNITS: 102		
Yes	72	70.6%

ZERO SOLAR ACCESS		
SOLAR ACCESS	COUNT	PERCENTAGE
TOTAL UNITS: 102		
0HRS	11	10.8%

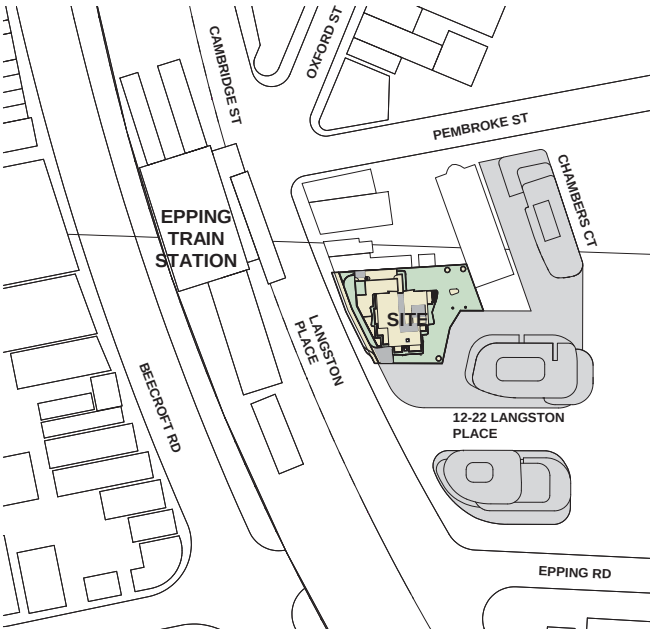
CAR PARKING PROVIDED BY USE		
Type	Count	
C	8	
R	5	
RESI	96	
V	11	
Total: 120	120	

BICYCLE PROVIDED BY USE		
Type	Count	
COMERCIAL	1	
RESIDENTIAL	102	
RETAIL	1	
VISITOR	10	
Total: 114	114	

Basic Building Fabric Requirements: 24-36 Langston Place

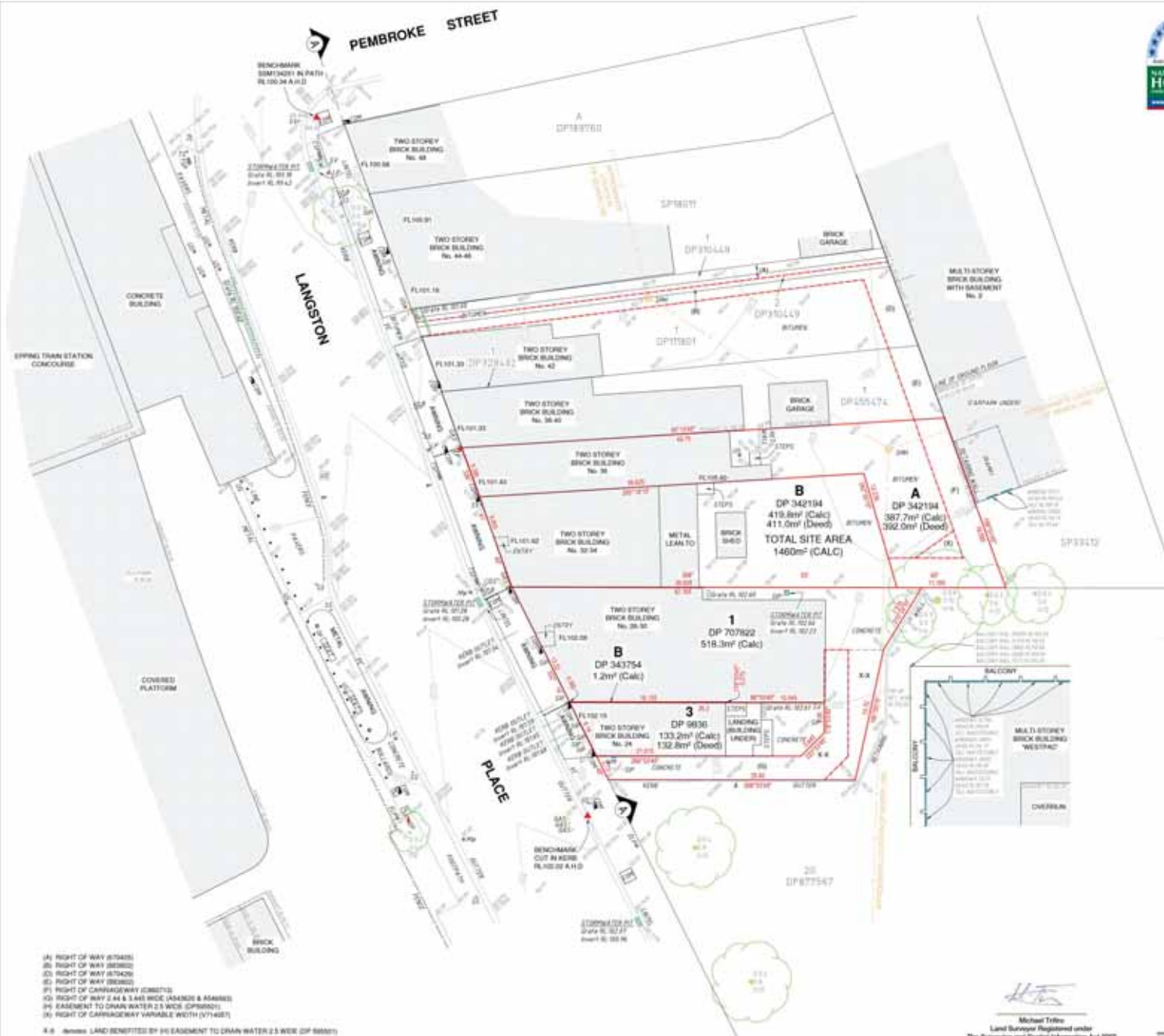
Element	Material Type	Detail
External walls	Concrete block + R1.0 Insulation + PB Hebel PowerPanel + R1.0 Insulation + PB Lightweight cladding + R1.0 Insulation + PB	Light colour
Internal walls	Plasterboard on studs	Inter-tenancy walls
	Hebel PowerPanel + PB	Inter-tenancy walls
Windows	Aluminium B 5G High Solar Gain Low-E	NFRC Glazing System values: ⇒ U ≤ 5.40 and SHGC = 0.58 ±10%
	Aluminium B DG High Solar Gain Low-E Modifying units (2501, 2502, 2504)	NFRC Glazing System values: ⇒ U ≤ 4.30 and SHGC = 0.53 ±10%
	Aluminium B Single Glazed Clear Modifying units (201-205, Units 2, 3, 4, 5 on level 3 to level 8)	NFRC Glazing System values: ⇒ U ≤ 6.70 and SHGC = 0.70 ±10%
Skylights	Single glazed opal	
Floor	Concrete slab Concrete slab + R1.0 Insulation (to carparking)	Tile (kitchen & wet) Carpet (bedrooms & living areas)
Roof Ceiling	Concrete slab Plasterboard + R4.0 Insulation (top level)	Medium colour

LOCATION PLAN



12 - 22 LANGSTON SOURCE EXHIBITED 14 JUNE 2017





NATIONWIDE HOUSE
4.8
www.nationwide.gov.au

Contract No: 100190480
Assessor Name: Michael Tylee
Assessment No: 100190480
Date: 14 September 2017
Dealing Address: 24-36 Langston Place
Epping NSW 2121
www.nationwide.gov.au

MSA
APPROACH TRUE NORTH

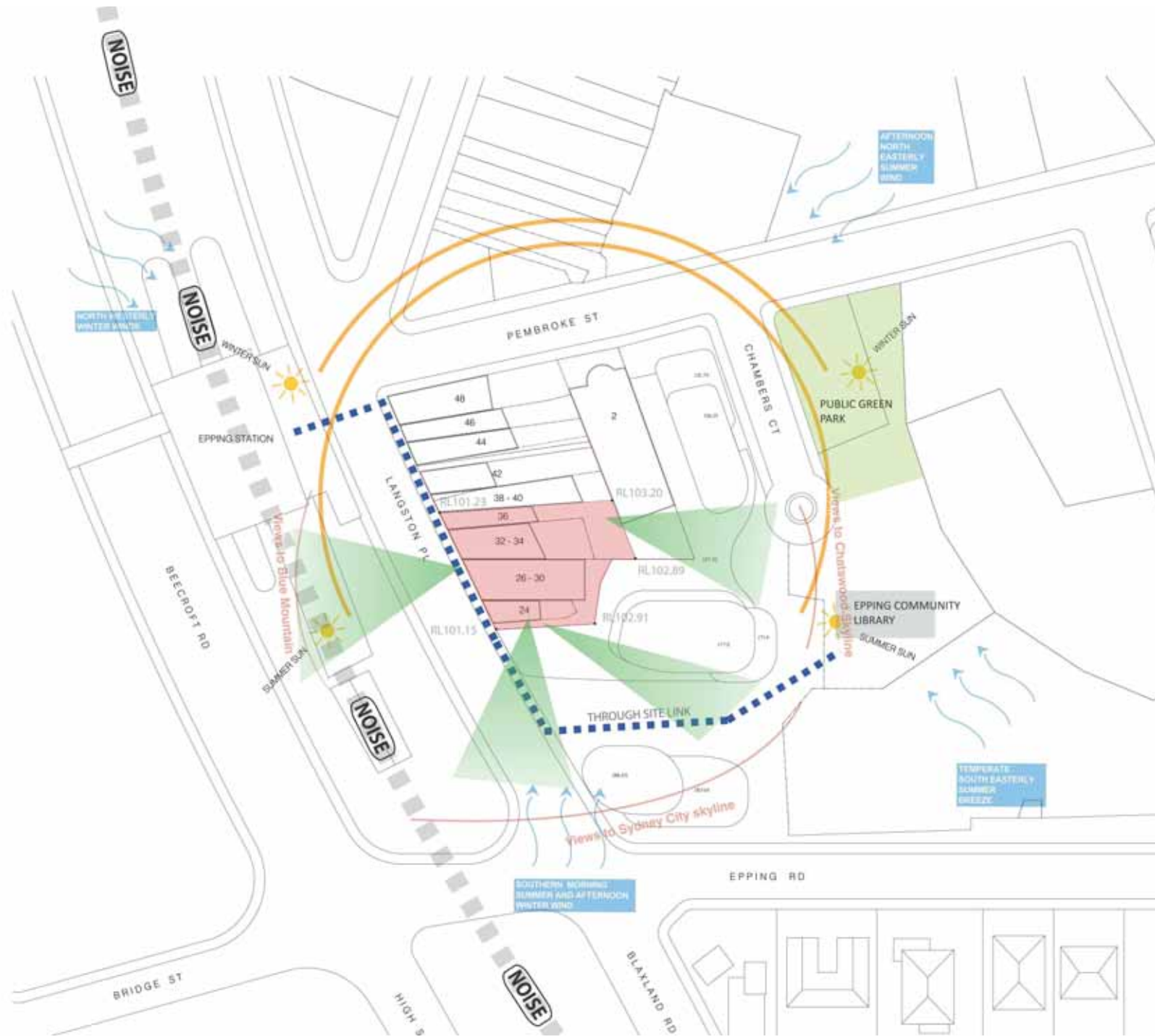
SDG
Survey Data Group
100190480
14 September 2017
24-36 LANGSTON PLACE
EPPING NSW 2121

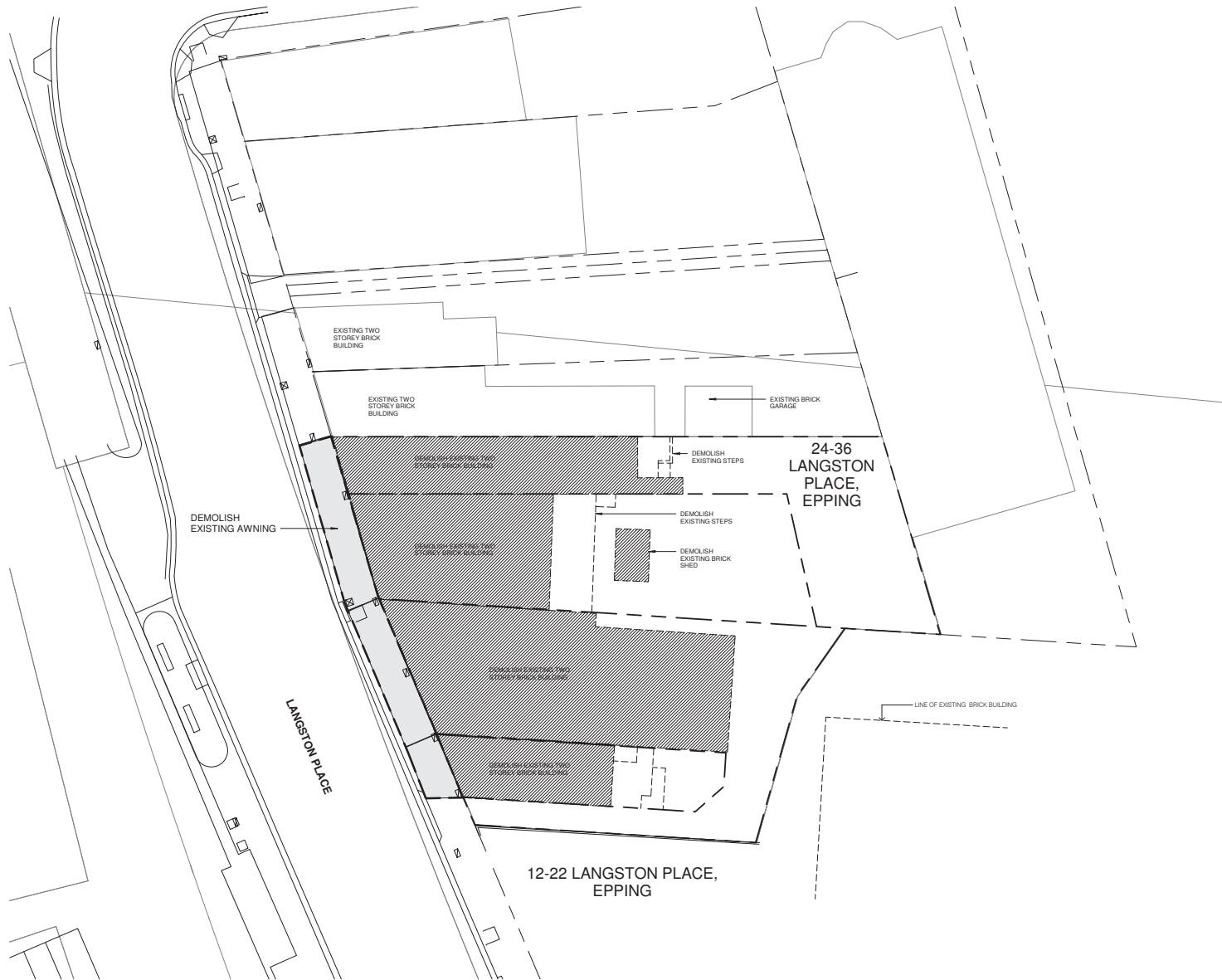
- LEGEND:**
- 1. Boundary between Lot 1 and Lot 2
 - 2. Boundary between Lot 2 and Lot 3
 - 3. Boundary between Lot 3 and Lot 4
 - 4. Boundary between Lot 4 and Lot 5
 - 5. Boundary between Lot 5 and Lot 6
 - 6. Boundary between Lot 6 and Lot 7
 - 7. Boundary between Lot 7 and Lot 8
 - 8. Boundary between Lot 8 and Lot 9
 - 9. Boundary between Lot 9 and Lot 10
 - 10. Boundary between Lot 10 and Lot 11
 - 11. Boundary between Lot 11 and Lot 12
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 - 93. Boundary between Lot 93 and Lot 94
 - 94. Boundary between Lot 94 and Lot 95
 - 95. Boundary between Lot 95 and Lot 96
 - 96. Boundary between Lot 96 and Lot 97
 - 97. Boundary between Lot 97 and Lot 98
 - 98. Boundary between Lot 98 and Lot 99
 - 99. Boundary between Lot 99 and Lot 100

(A) RIGHT OF WAY (R1400)
(B) RIGHT OF WAY (R1400)
(C) RIGHT OF WAY (R1400)
(D) RIGHT OF WAY (R1400)
(E) RIGHT OF WAY (R1400)
(F) RIGHT OF WAY (R1400)
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(X) RIGHT OF WAY (R1400)
(Y) RIGHT OF WAY (R1400)
(Z) RIGHT OF WAY (R1400)

Michael Tylee
Land Surveyor Registered under
The Surveying and Spatial Information Act 2002
(Classification No. 8024)

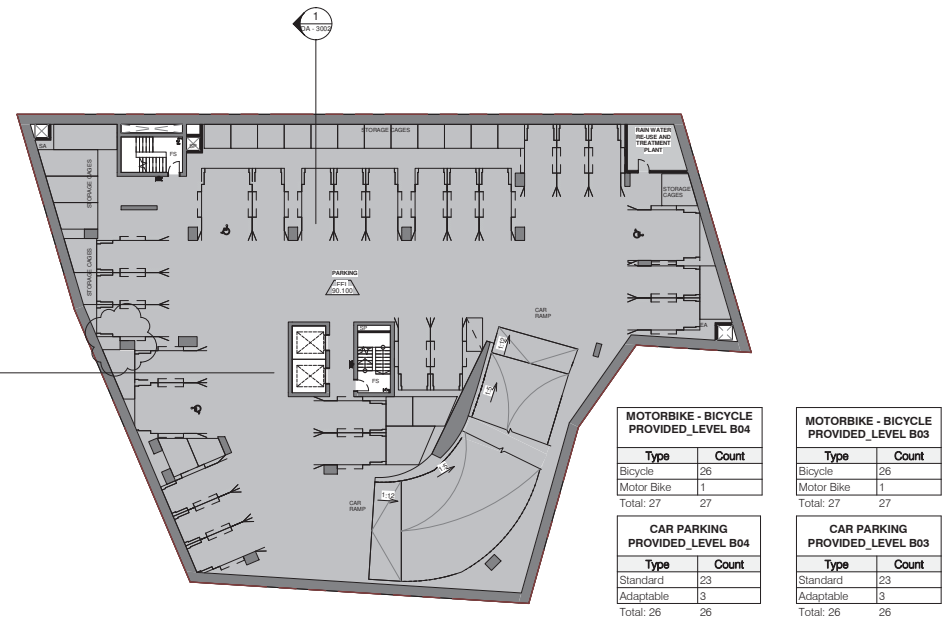
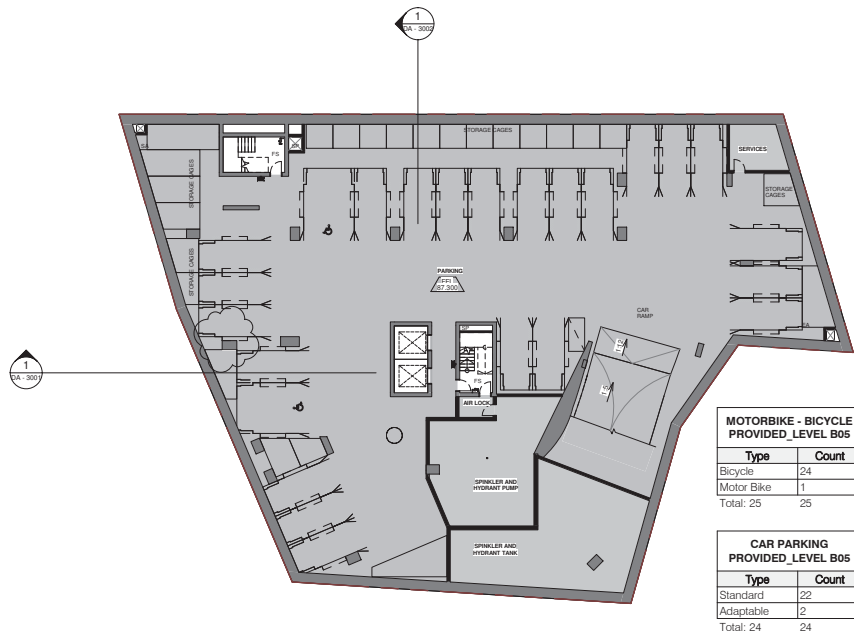






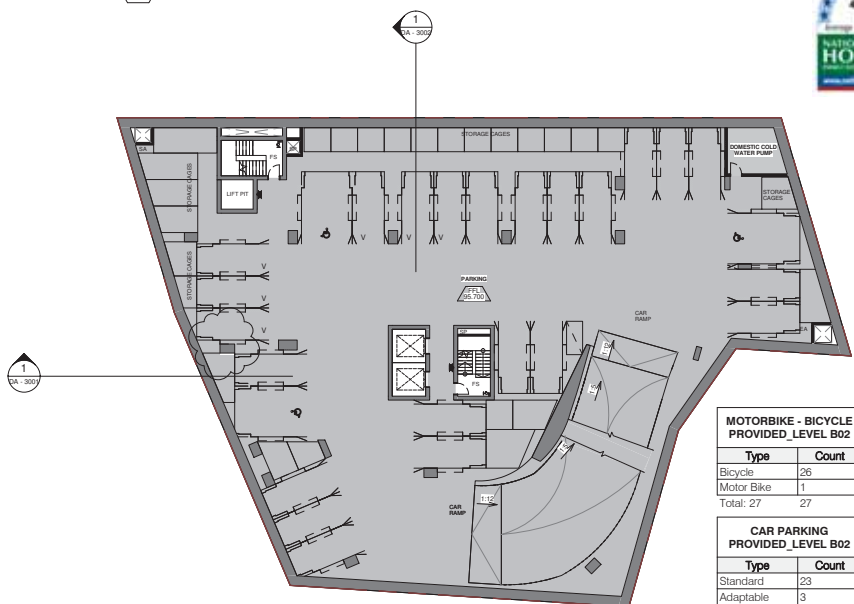
1 DEMOLITION PLAN
1 : 200



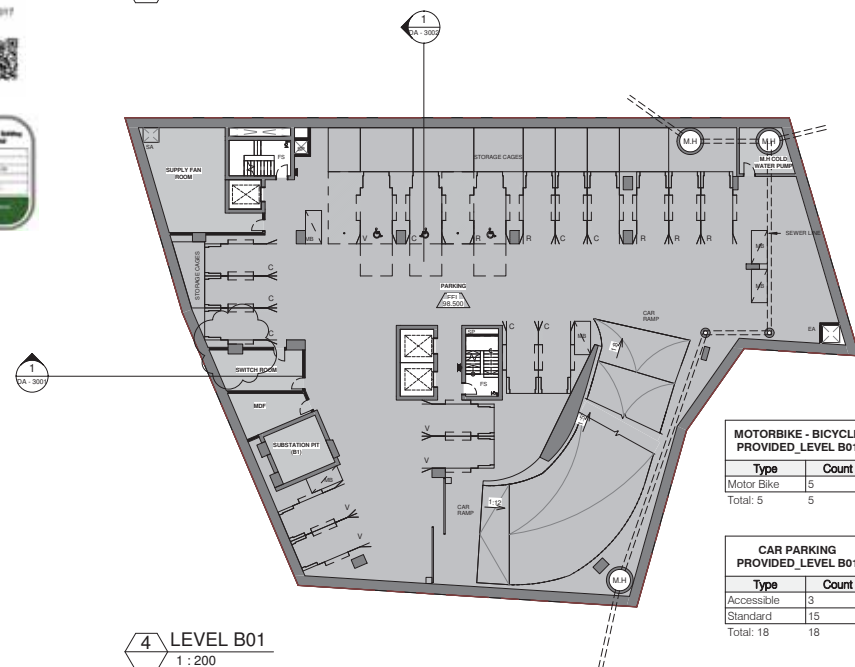


1 LEVEL B05
1 : 200

2 LEVEL B03 - B04
1 : 200



3 LEVEL B02
1 : 200

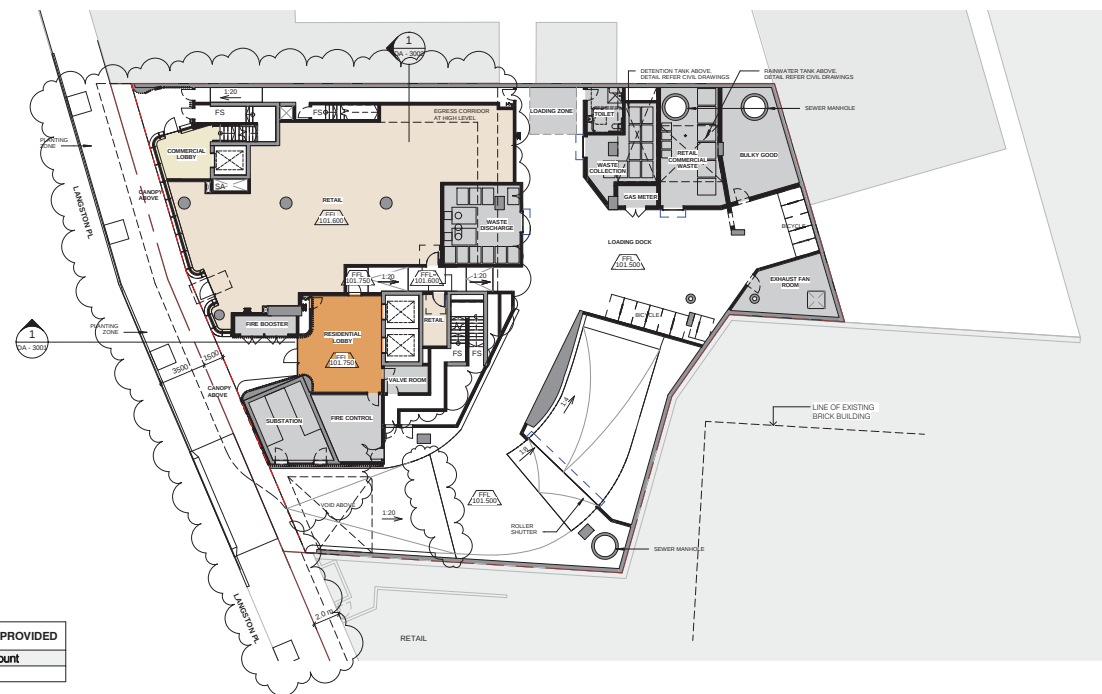


4 LEVEL B01
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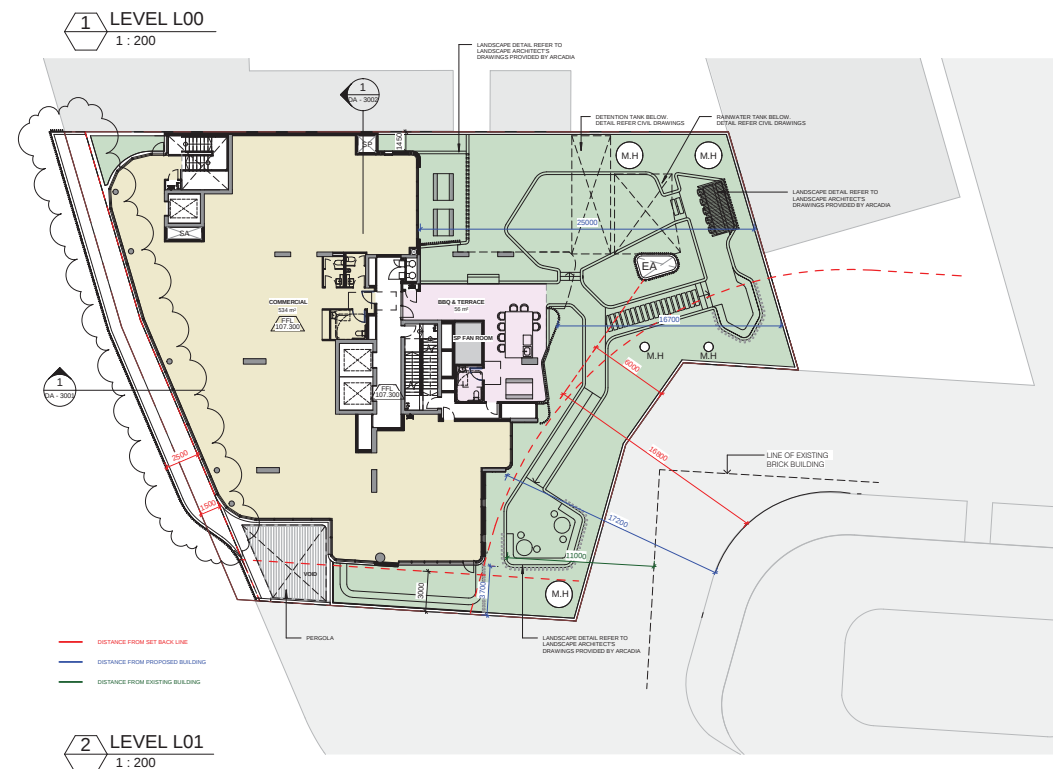
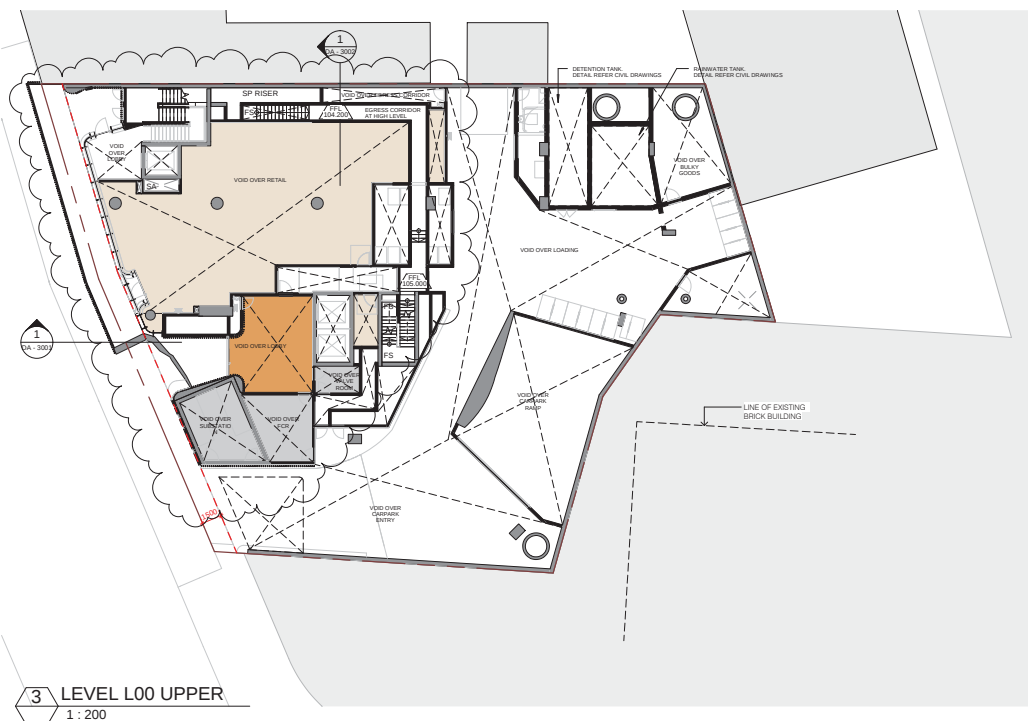


- LEGEND**
- V VISITOR
 - R RETAIL
 - C COMMERCIAL
 - MB MOTOR BIKE
 - ♿ ACCESSIBLE - ADAPTABLE

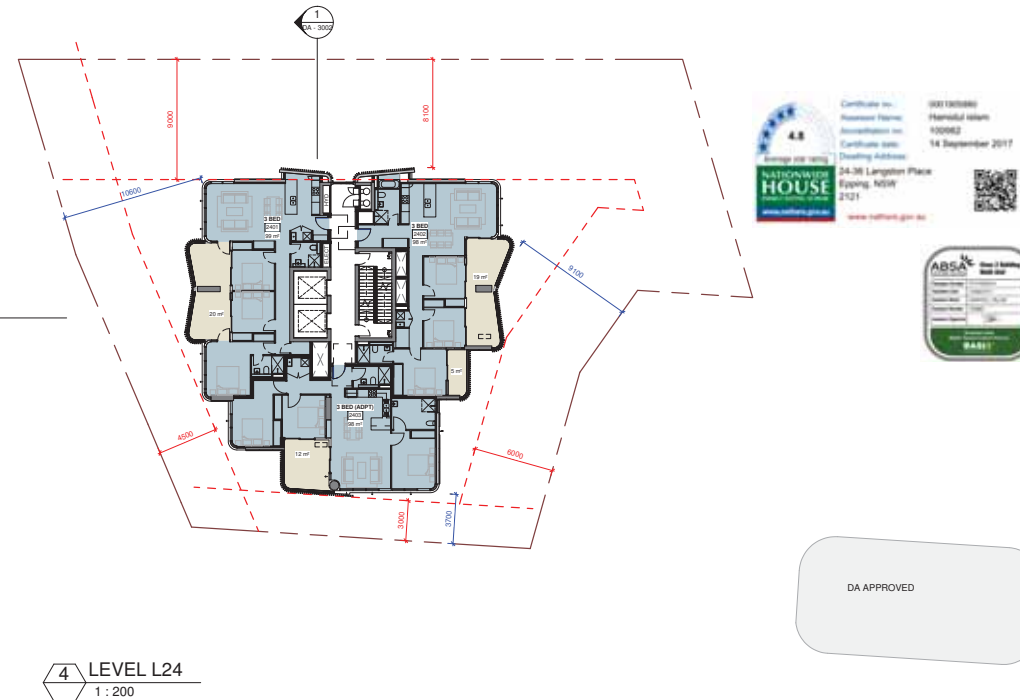
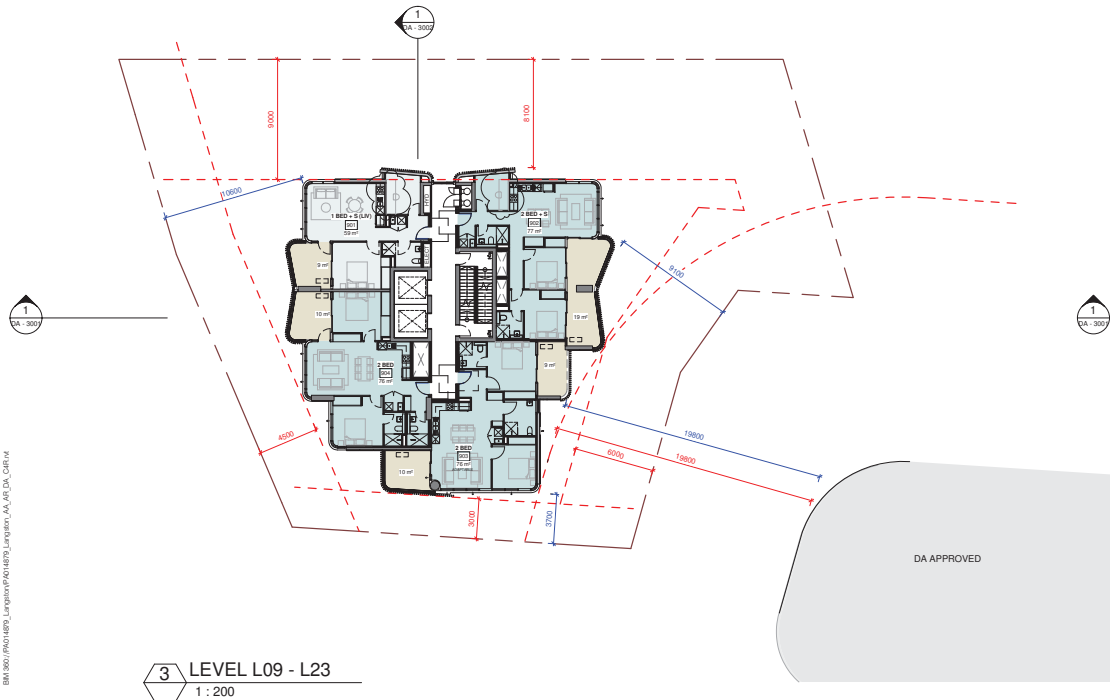
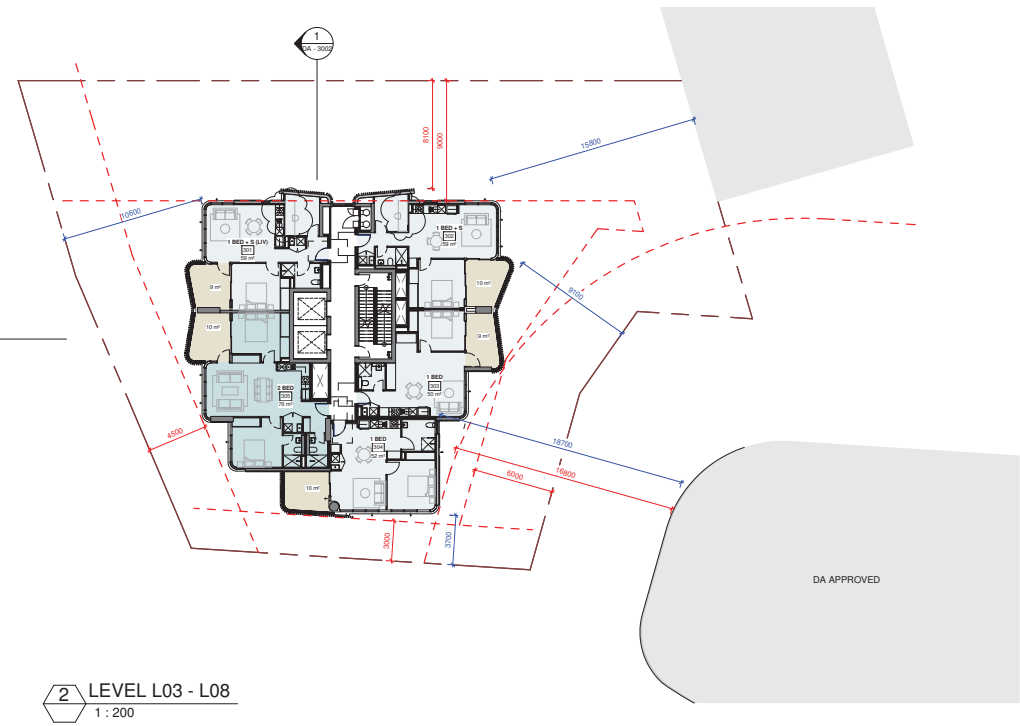
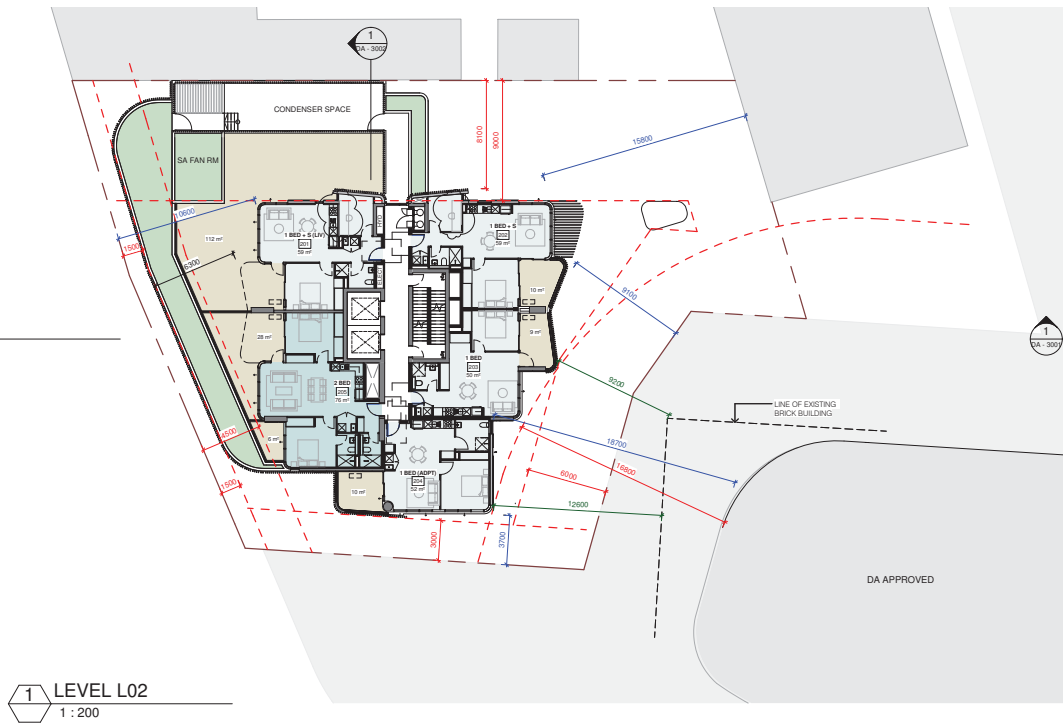


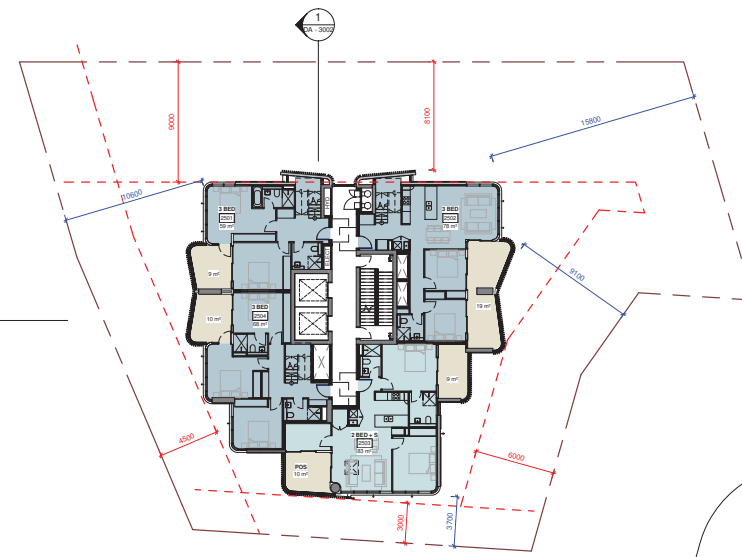


MOTORBIKE - BICYCLE PROVIDED	
Type	Count
Bicycle	12
Total: 12	12

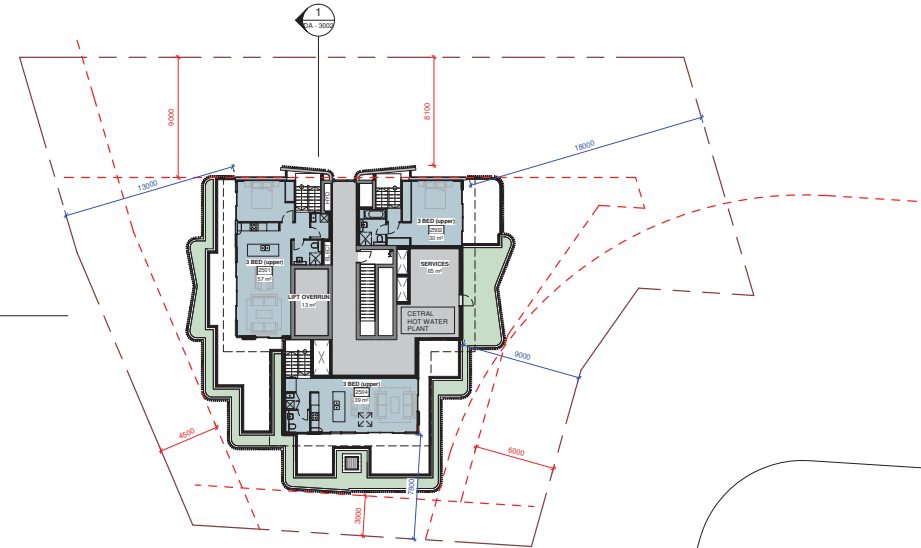


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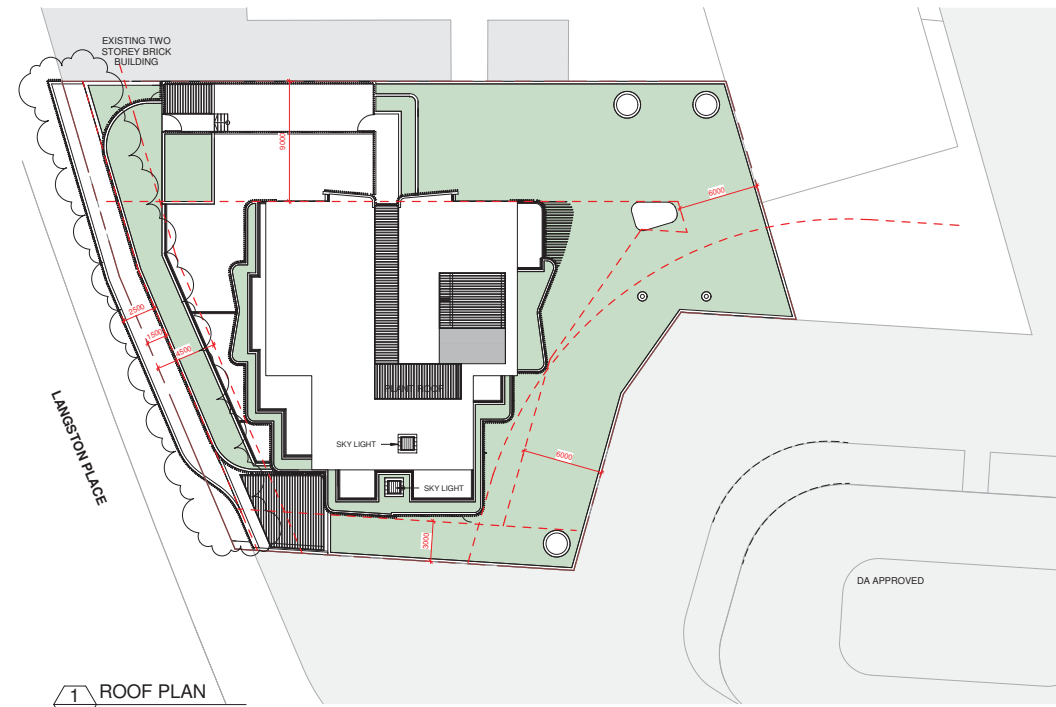




2 LEVEL 25
1 : 200

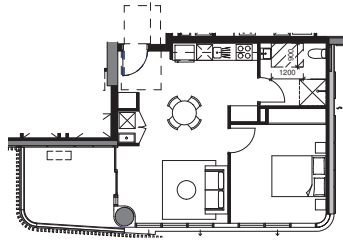


3 LEVEL L26
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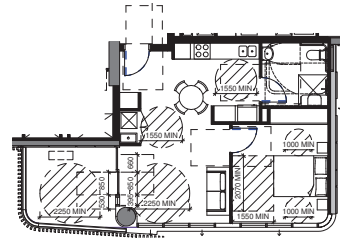


1 ROOF PLAN
1 : 200

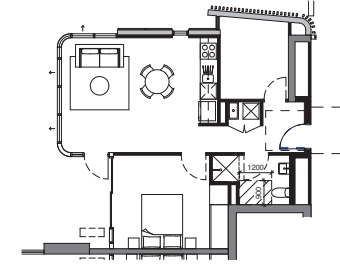




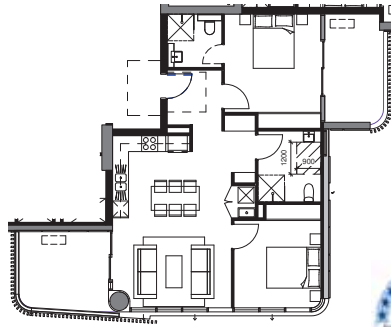
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UNIT 304,504,704_LIVABLE



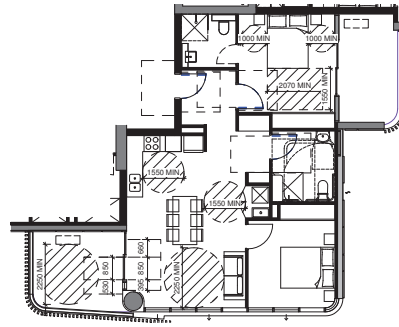
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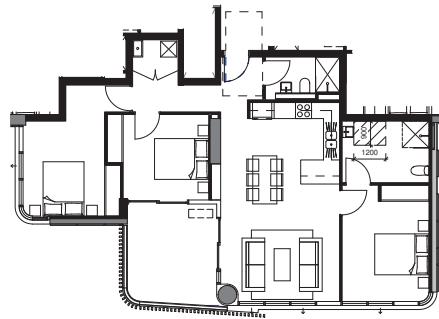
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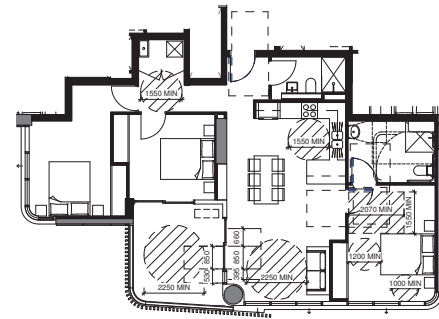
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UNIT 903,1103,1303,1503,1703,1903,2103_LIVABLE



UNIT 1003,1203,1403,1603,1803,2003_POST-ADAPTABLE



UNIT 2403_PRE-ADAPTABLE



100_DA_2403_POST-ADAPTABLE

DA_ADAPTABLE UNIT BREAK DOWN			
Level	Number	Name	Count
LEVEL 02	204	1 BED (ADPT)	1
LEVEL 04	404	1 BED (ADPT)	1
LEVEL 06	604	1 BED (ADPT)	1
LEVEL 08	804	1 BED (ADPT)	1

1B			4
LEVEL 10	1003	2 BED (ADPT)	1
LEVEL 12	1203	2 BED (ADPT)	1
LEVEL 14	1403	2 BED (ADPT)	1
LEVEL 16	1603	2 BED (ADPT)	1
LEVEL 18	1803	2 BED (ADPT)	1
LEVEL 20	2003	2 BED (ADPT)	1
2B			6
LEVEL 24	2403	3 BED (ADPT)	1
3B			1
TOTAL: 11			11

DA_ADAPTABLE UNIT		
Adaptable	Count	Percentage
No	91	89.2%
Yes	11	10.8%
TOTAL: 102	102	100.0%

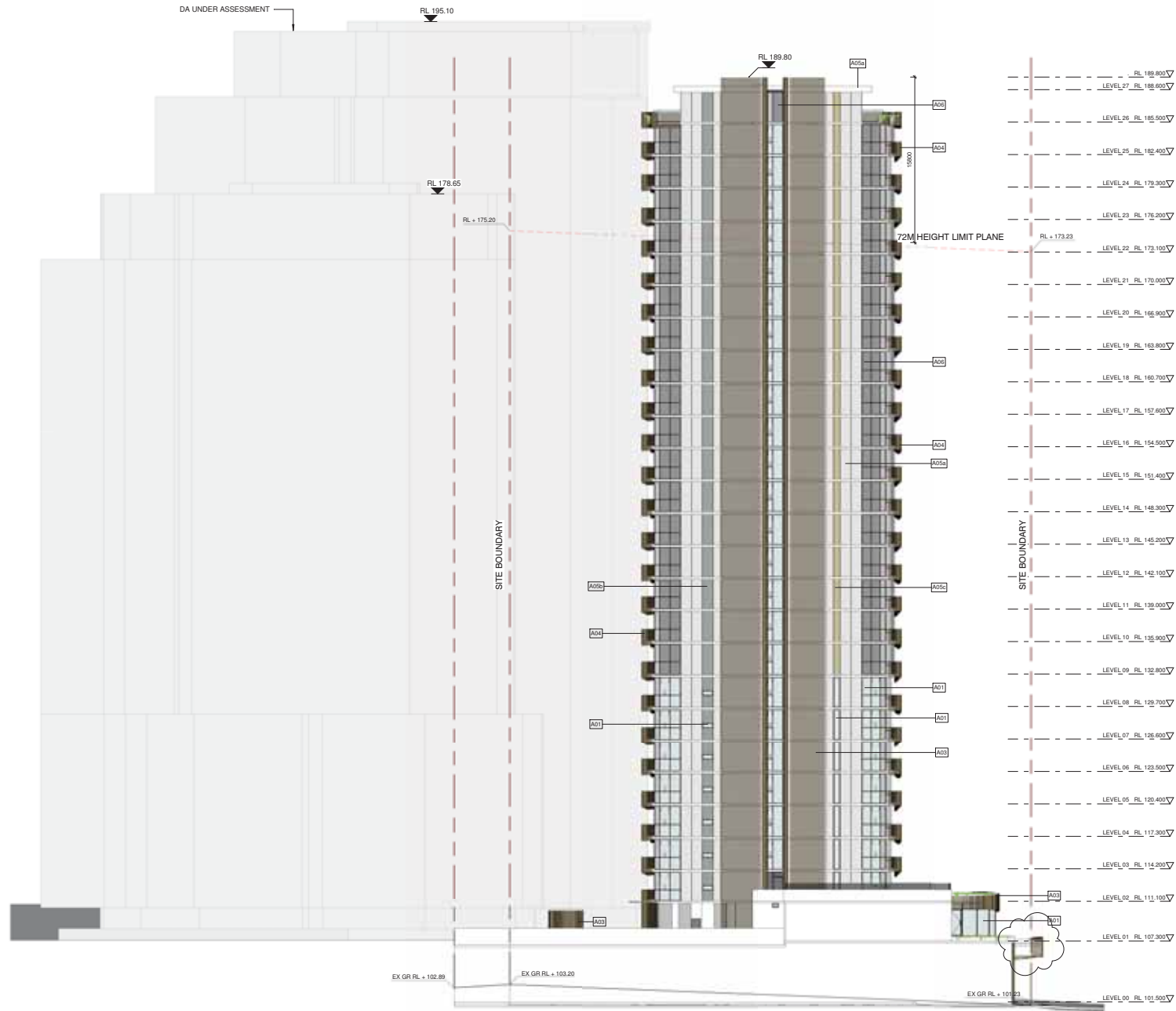
DA_LIVABLE UNIT BY LEVEL			
Level	Number	Name	Count
LEVEL 02	201	1 BED + S (LV)	1
LEVEL 03	304	1 BED	1
LEVEL 04	401	1 BED + S (LV)	1
LEVEL 05	504	1 BED	1
LEVEL 06	601	1 BED + S (LV)	1
LEVEL 07	704	1 BED	1
LEVEL 08	801	1 BED + S (LV)	1
LEVEL 10	1001	1 BED + S (LV)	1
LEVEL 12	1201	1 BED + S (LV)	1
LEVEL 14	1401	1 BED + S (LV)	1
LEVEL 16	1601	1 BED + S (LV)	1
LEVEL 18	1801	1 BED + S (LV)	1
LEVEL 20	2001	1 BED + S (LV)	1
LEVEL 22	2201	1 BED + S (LV)	1
LEVEL 23	2301	1 BED + S (LV)	1

1B			15
LEVEL 09	903	2 BED	1
LEVEL 11	1103	2 BED	1
LEVEL 13	1303	2 BED	1
LEVEL 15	1503	2 BED	1
LEVEL 17	1703	2 BED	1
LEVEL 19	1903	2 BED	1
LEVEL 21	2103	2 BED	1
2B			7
TOTAL: 22			22

DA_LIVABLE UNIT		
Livable	Count	Percentage
No	80	78.4%
Yes	22	21.6%
TOTAL: 102	102	100.0%

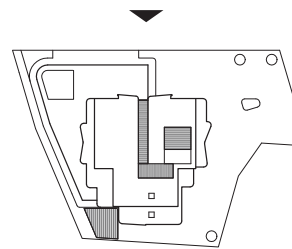


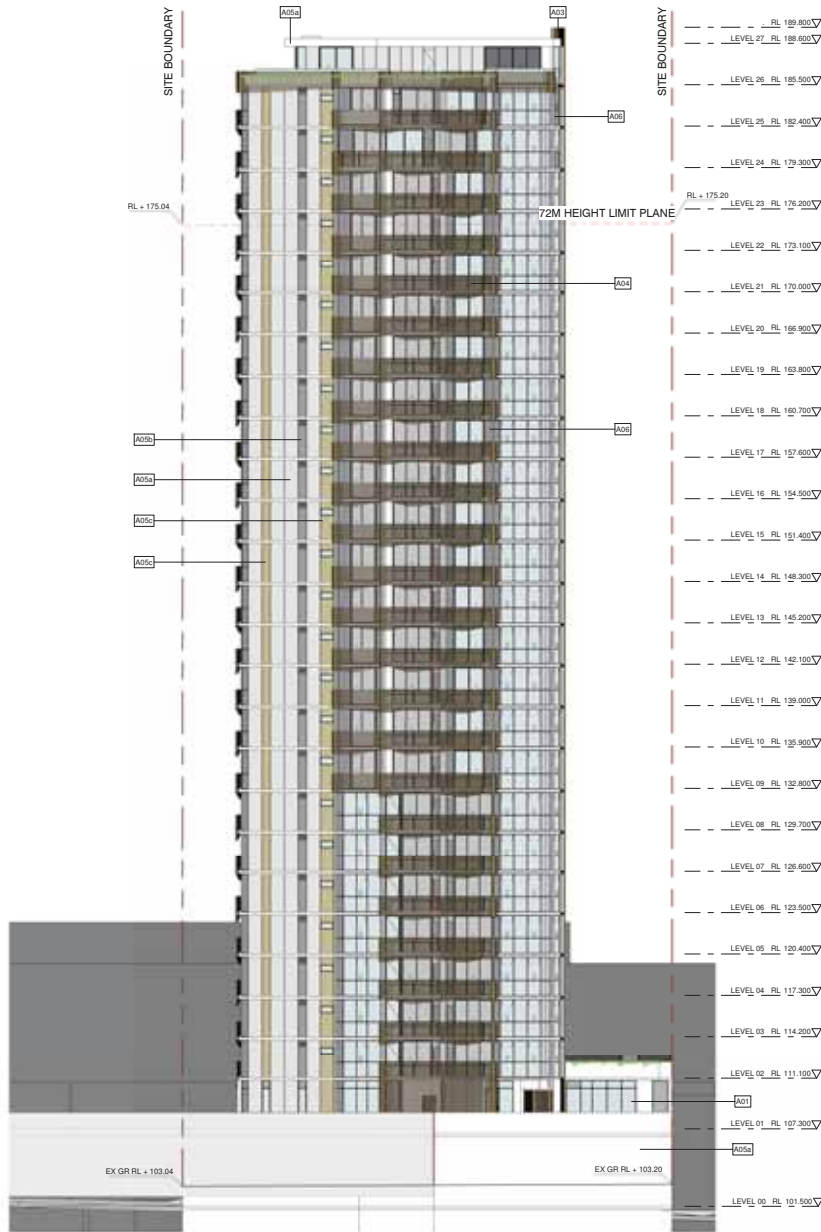
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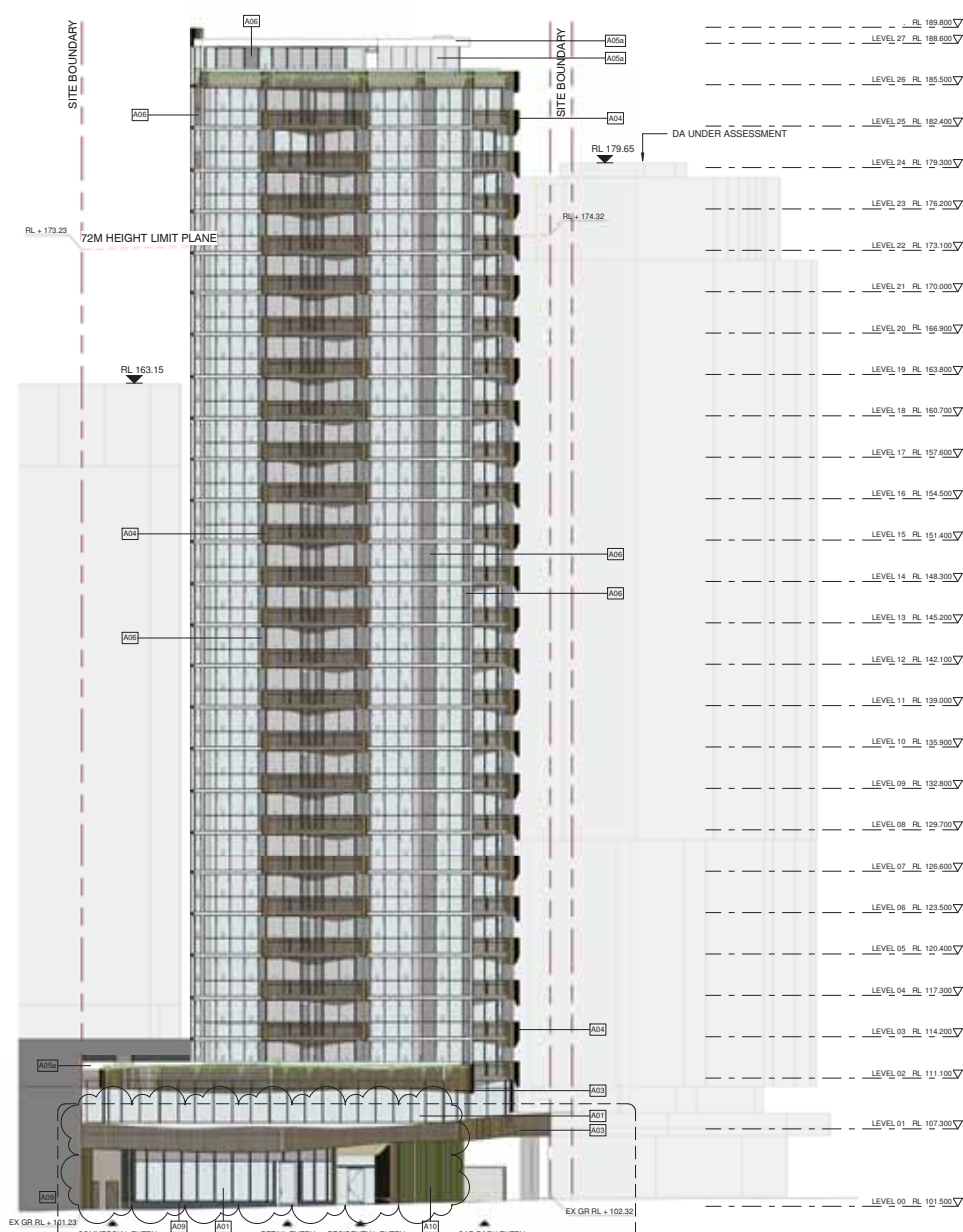
1 ELEVATION _ NORTH
1 : 200

MATERIAL LEGEND	
A01	Aluminium Frame Windows And Doors, Colour Pale Bronze.
A02	Glass Balustrade
A03	Aluminium Vertical Slots, Colour Pale Bronze
A04	Aluminium Slots Balustrade, Colour Anodises Pale Bronze
A05a	Paint Finish (White)
A05b	Paint Finish (Grey)
A05c	Paint Finish (Brown)
A06	Silver Metallic Aluminium Composite Panel
A08	Timber Look Aluminium Slots
A09	Brick Wall
A10	Vertical Planting





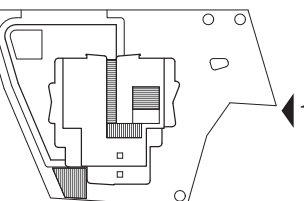
1 ELEVATION _ EAST
1 : 200

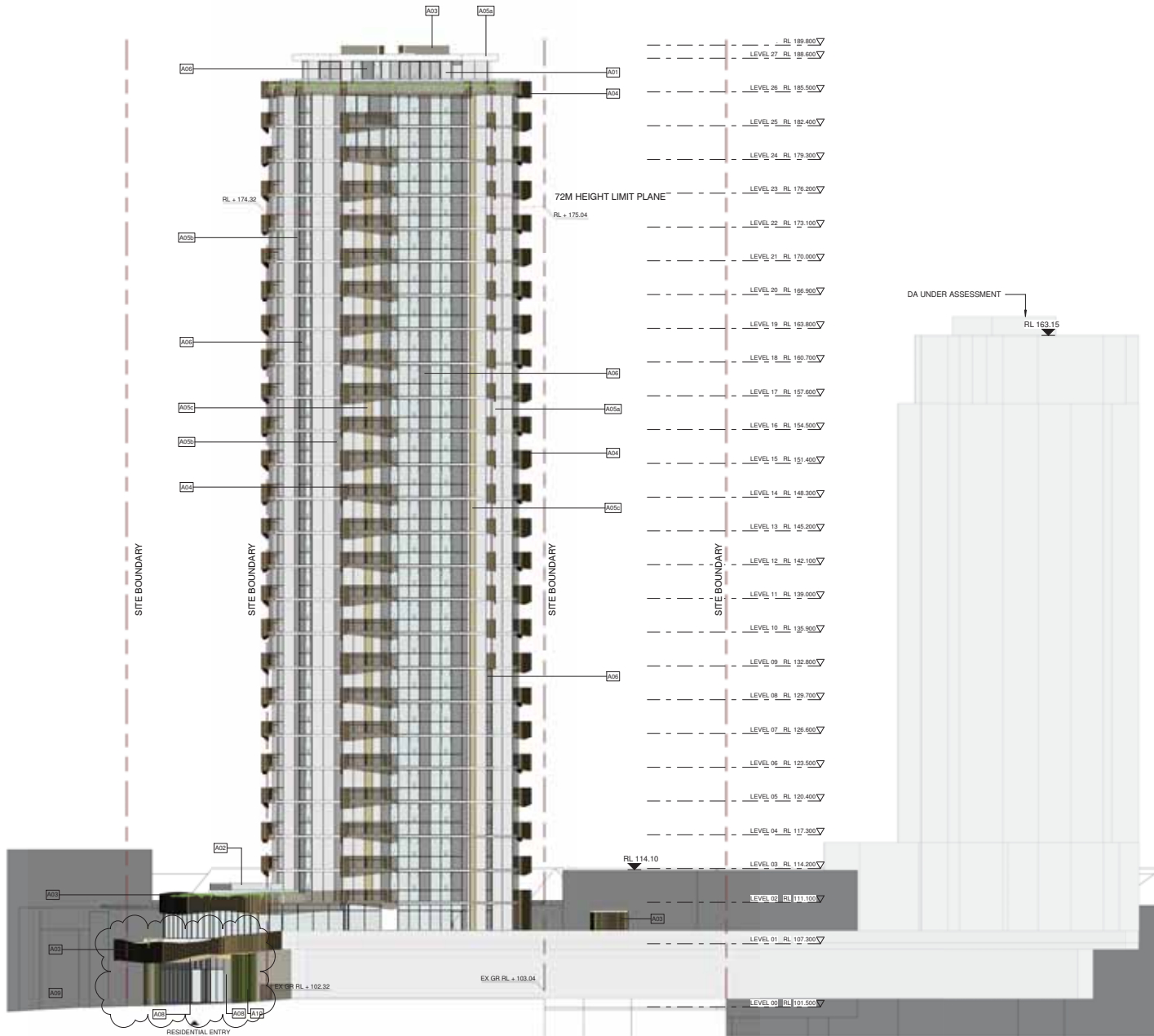


2 ELEVATION _ WEST
1 : 200

MATERIAL LEGEND

- A01 Aluminium Frame Windows And Doors. Colour Pale Bronze.
- A02 Glass Balustrade
- A03 Aluminium Vertical Slots. Colour Pale Bronze
- A04 Aluminium Slots Balustrade. Colour Anodised Pale Bronze
- A05a Paint Finish (White)
- A05b Paint Finish (Grey)
- A05c Paint Finish (Brown)
- A06 Silver Metallic Aluminium Composite Panel
- A08 Timber Look Aluminium Slots
- A09 Brick Wall
- A10 Vertical Planting

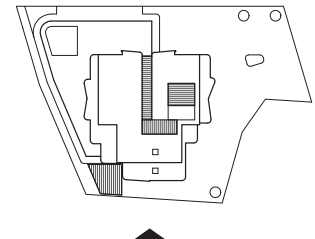




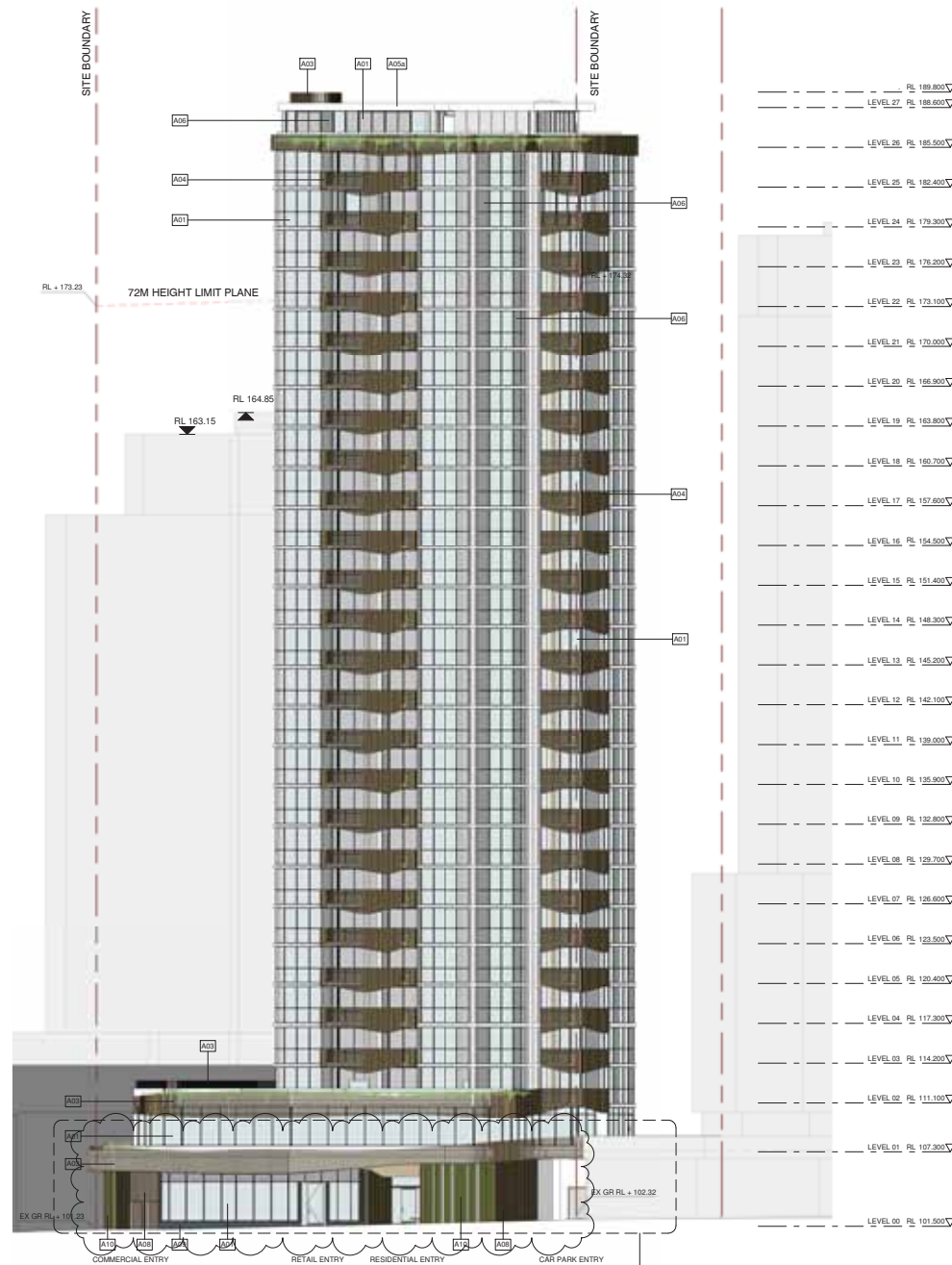
1 ELEVATION - SOUTH
1 : 200



- MATERIAL LEGEND
- A01 Aluminium Frame Windows And Doors. Colour Pale Bronze.
 - A02 Glass Balustrade
 - A03 Aluminium Vertical Slots. Colour Pale Bronze
 - A04 Aluminium Slots Balustrade. Colour Anodised Pale Bronze
 - A05a Paint Finish (White)
 - A05b Paint Finish (Grey)
 - A05c Paint Finish (Brown)
 - A06 Silver Metallic Aluminium Composite Panel
 - A08 Timber Look Aluminium Slots
 - A09 Brick Wall
 - A10 Vertical Planting



BM 300 / PA014879_LangstonR&J_Plan_South_A3_Cat-14



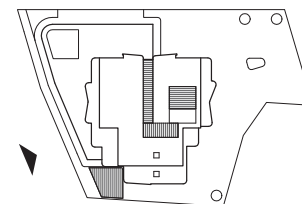
1 ELEVATION _ STREET
1 : 200

LEVEL 27	RL 189.800
LEVEL 26	RL 188.600
LEVEL 25	RL 185.500
LEVEL 24	RL 182.400
LEVEL 23	RL 179.300
LEVEL 22	RL 176.200
LEVEL 21	RL 173.100
LEVEL 20	RL 170.000
LEVEL 19	RL 166.900
LEVEL 18	RL 163.800
LEVEL 17	RL 160.700
LEVEL 16	RL 157.600
LEVEL 15	RL 154.500
LEVEL 14	RL 151.400
LEVEL 13	RL 148.300
LEVEL 12	RL 145.200
LEVEL 11	RL 142.100
LEVEL 10	RL 139.000
LEVEL 09	RL 135.900
LEVEL 08	RL 132.800
LEVEL 07	RL 129.700
LEVEL 06	RL 126.600
LEVEL 05	RL 123.500
LEVEL 04	RL 120.400
LEVEL 03	RL 117.300
LEVEL 02	RL 114.200
LEVEL 01	RL 111.100
LEVEL 00	RL 107.900

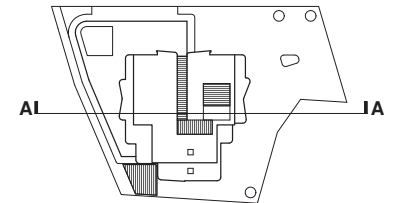
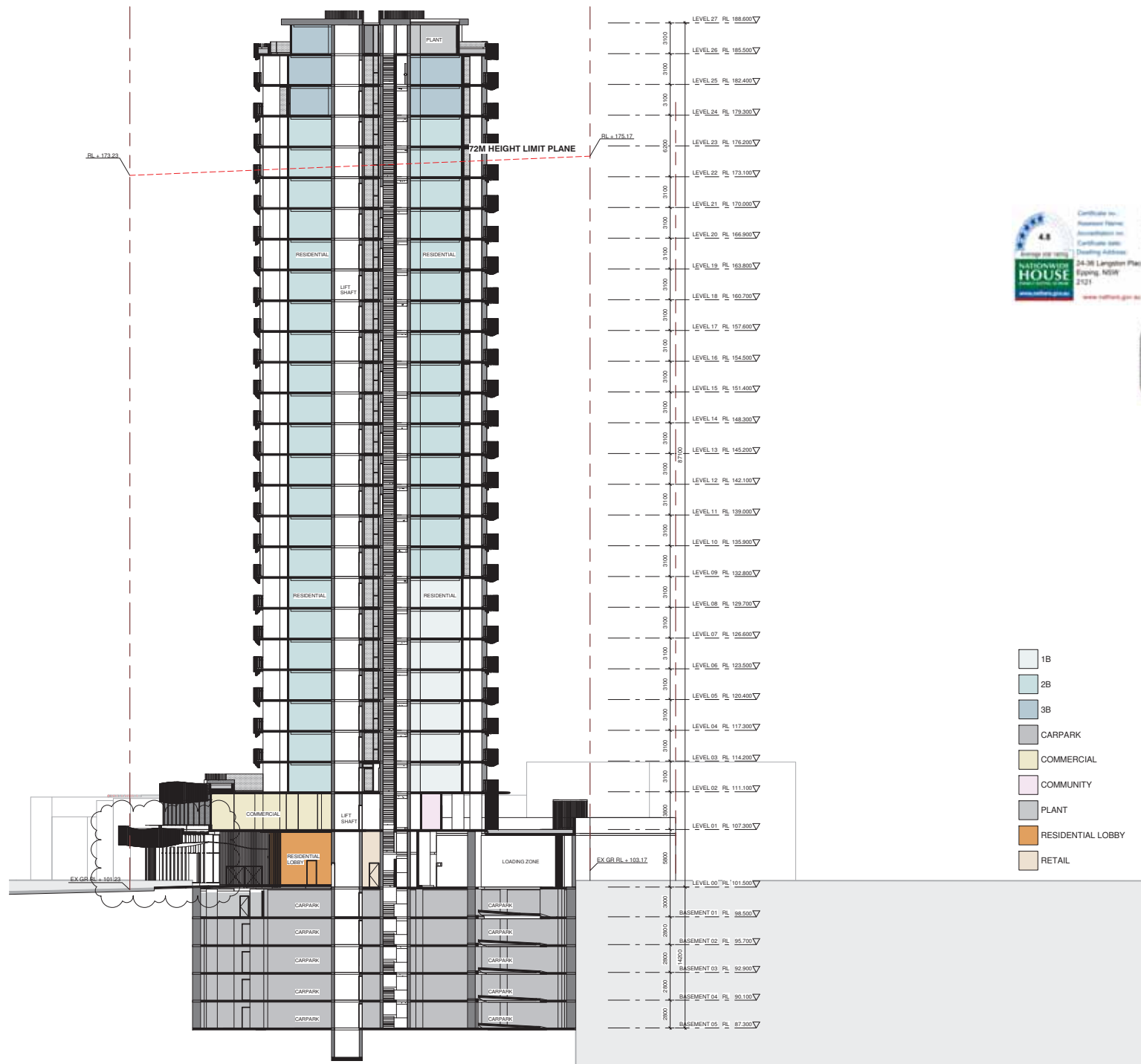


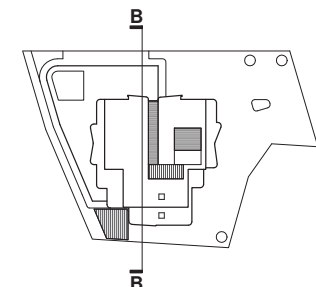
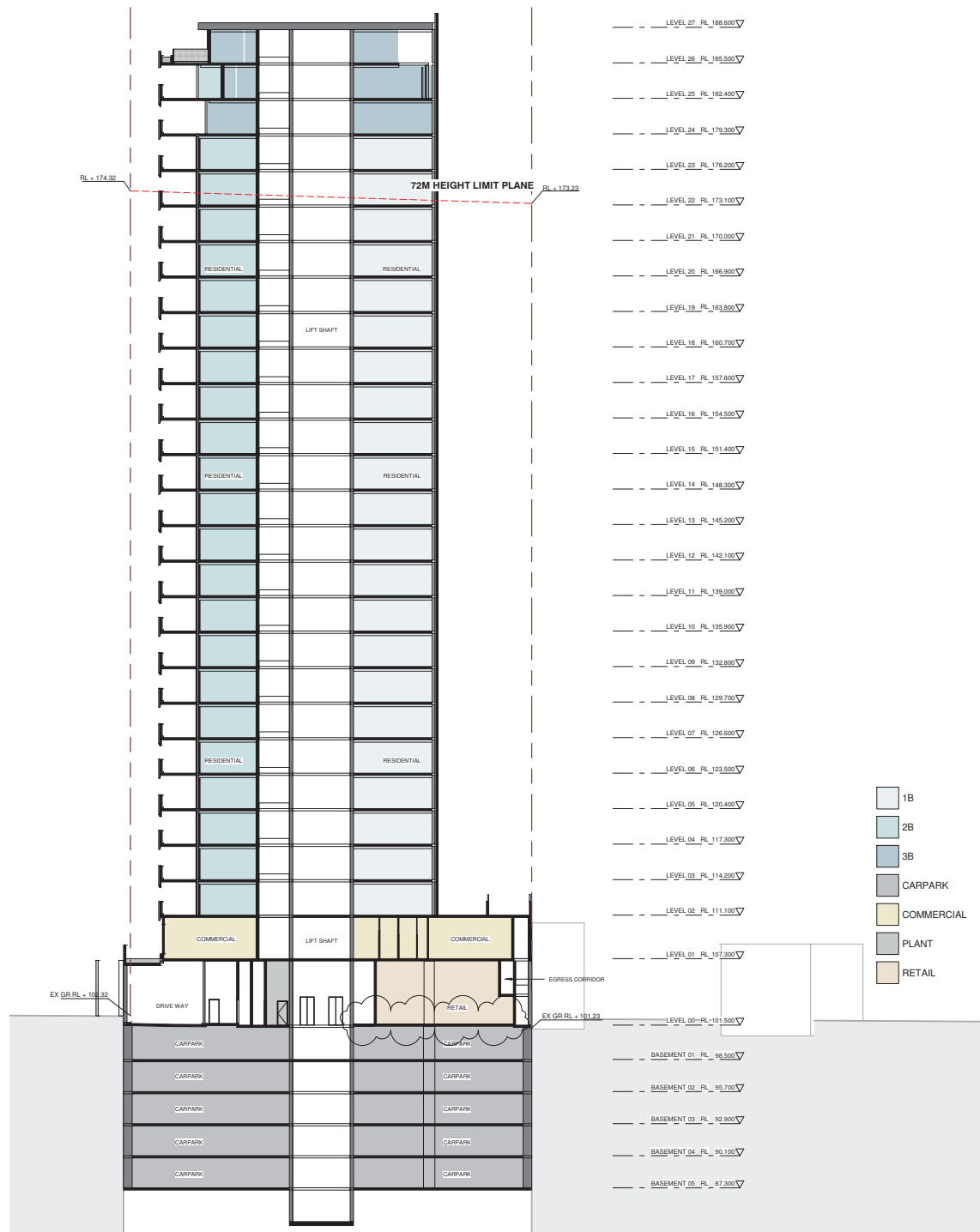
MATERIAL LEGEND

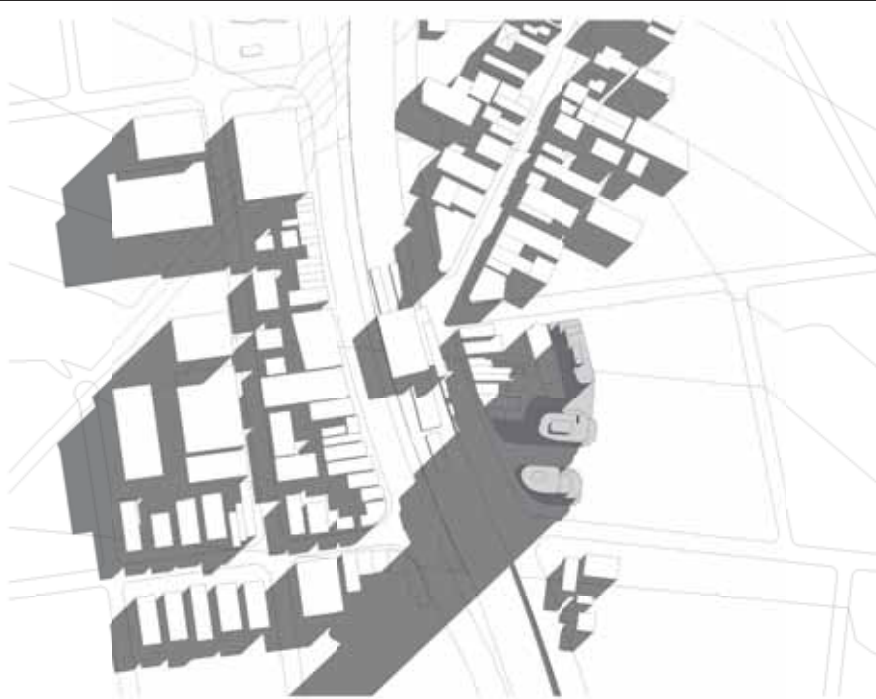
- A01 Aluminium Frame Windows And Doors. Colour Pale Bronze.
- A02 Glass Balustrade
- A03 Aluminium Vertical Slots. Colour Pale Bronze
- A04 Aluminium Slots Balustrade. Colour Anodises Pale Bronze
- A05a Paint Finish (White)
- A05b Paint Finish (Grey)
- A05c Paint Finish (Brown)
- A06 Silver Metallic Aluminium Composite Panel
- A08 Timber Look Aluminium Slots
- A09 Brick Wall
- A10 Vertical Planting



BM 300 / PA01489_LangstonR&J1489_Langston_AA_AR_DA_CAR14







1 SHADOW DIAGRAM: JUNE 21 - 9 AM





Certificate No: 1000000000
 Assessment Number: 10000000
 Assessment Date: 14 September 2017
 Certificate Date: 14 September 2017
 Issuing Authority: 24-36 Langston Place
 Epping, NSW 2127
www.nationwide.gov.au



ARSA
 Australian Residential Standards Association
 24-36 Langston Place
 Epping, NSW 2127
 Tel: 02 9439 1234
 Fax: 02 9439 1235
 Email: info@arsa.org.au
www.arsa.org.au

2 SHADOW DIAGRAM: JUNE 21 - 10 AM

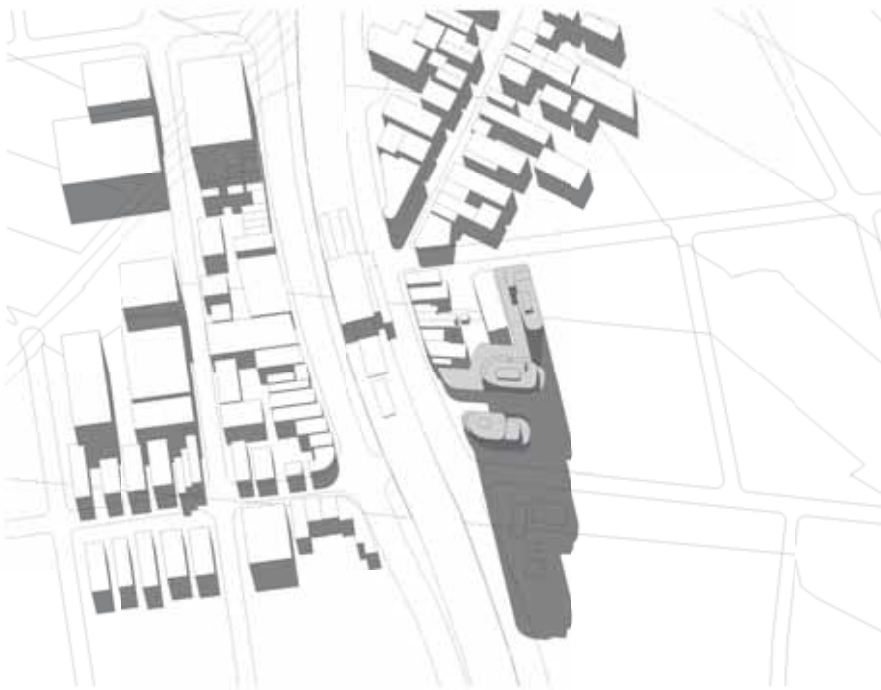


3 SHADOW DIAGRAM: JUNE 21 - 11 AM



4 SHADOW DIAGRAM: JUNE 21 - 12 PM





1 SHADOW DIAGRAM: JUNE 21 - 1 PM

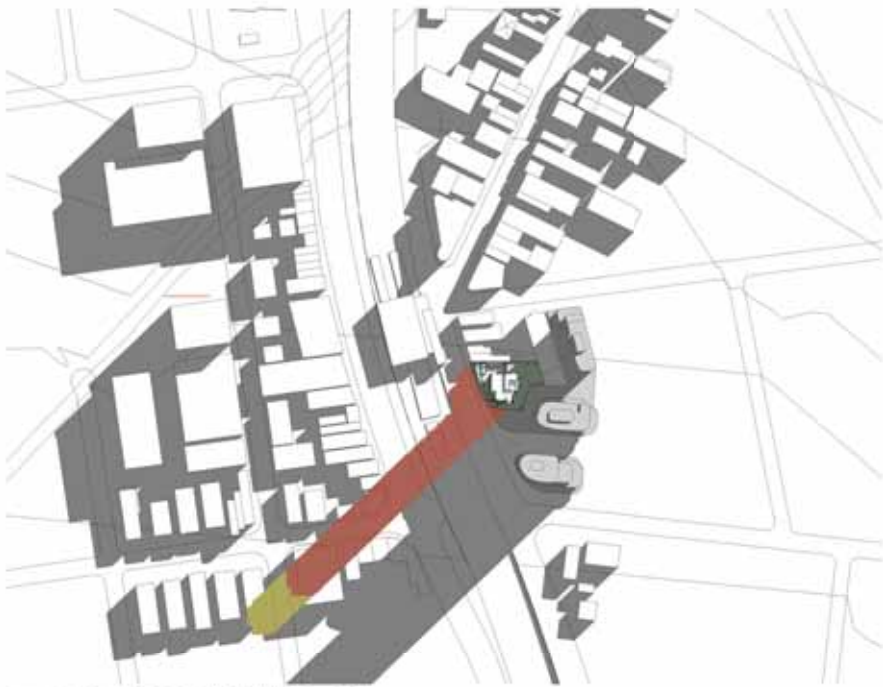


2 SHADOW DIAGRAM: JUNE 21 - 2 PM



3 SHADOW DIAGRAM: JUNE 21 - 3 PM





1 SHADOW DIAGRAM: JUNE 21 - 9 AM



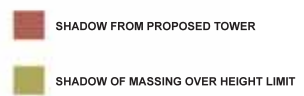
2 SHADOW DIAGRAM: JUNE 21 - 10 AM



3 SHADOW DIAGRAM: JUNE 21 - 11 AM



4 SHADOW DIAGRAM: JUNE 21 - 12 PM





1 SHADOW DIAGRAM: JUNE 21 - 1 PM



2 SHADOW DIAGRAM: JUNE 21 - 2 PM



3 SHADOW DIAGRAM: JUNE 21 - 3 PM



SHADOW FROM PROPOSED TOWER
SHADOW OF MASSING OVER HEIGHT LIMIT



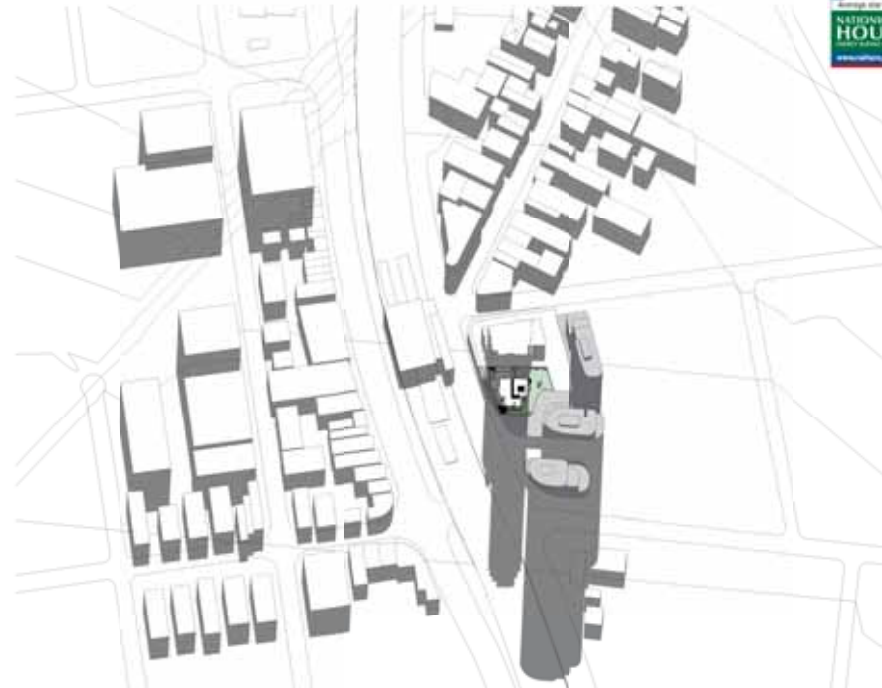
1 SHADOW DIAGRAM: JUNE 21 - 9 AM



2 SHADOW DIAGRAM: JUNE 21 - 10 AM



3 SHADOW DIAGRAM: JUNE 21 - 11 AM



4 SHADOW DIAGRAM: JUNE 21 - 12 PM



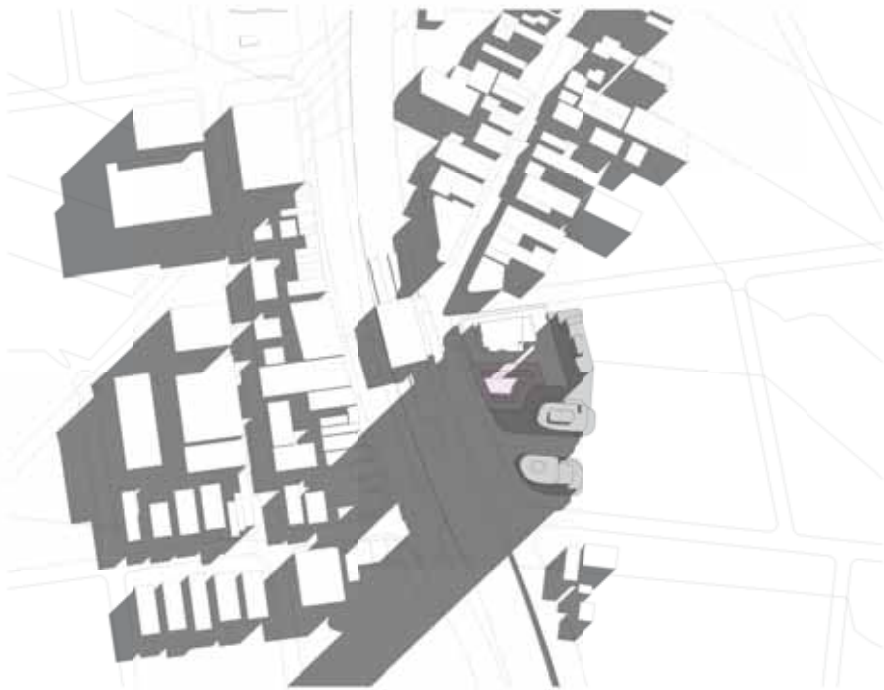
LEGEND:
 [Grey Box] FUTURE NORTH DEVELOPMENT





LEGEND:

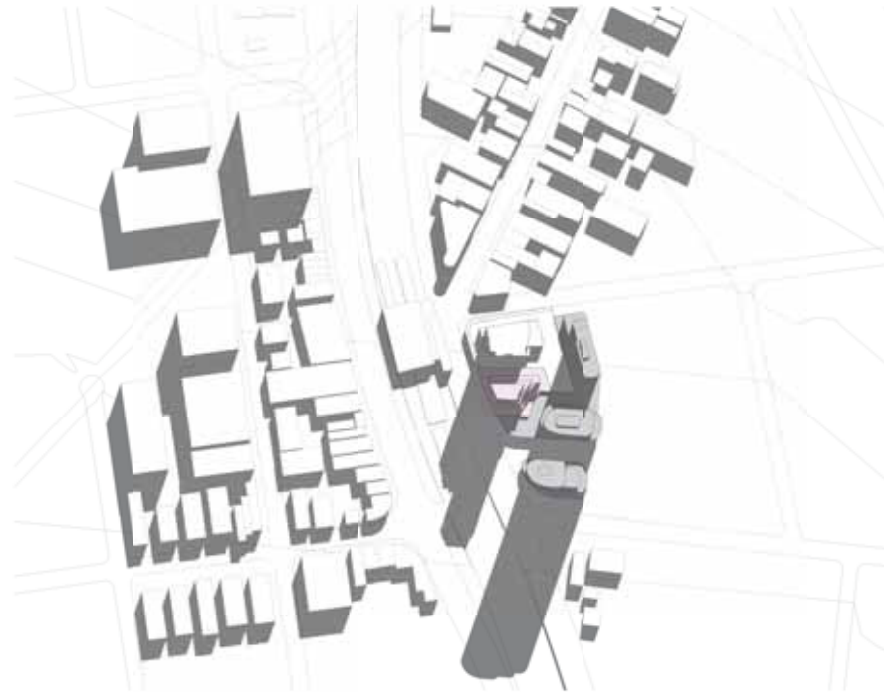
 FUTURE NORTH DEVELOPMENT



1 SHADOW DIAGRAM: JUNE 21 - 9 AM



2 SHADOW DIAGRAM: JUNE 21 - 10 AM



3 SHADOW DIAGRAM: JUNE 21 - 11 AM



4 SHADOW DIAGRAM: JUNE 21 - 12 PM



LEGEND:

☐ FUTURE NORTH DEVELOPMENT
☐ ADG COMPLIED

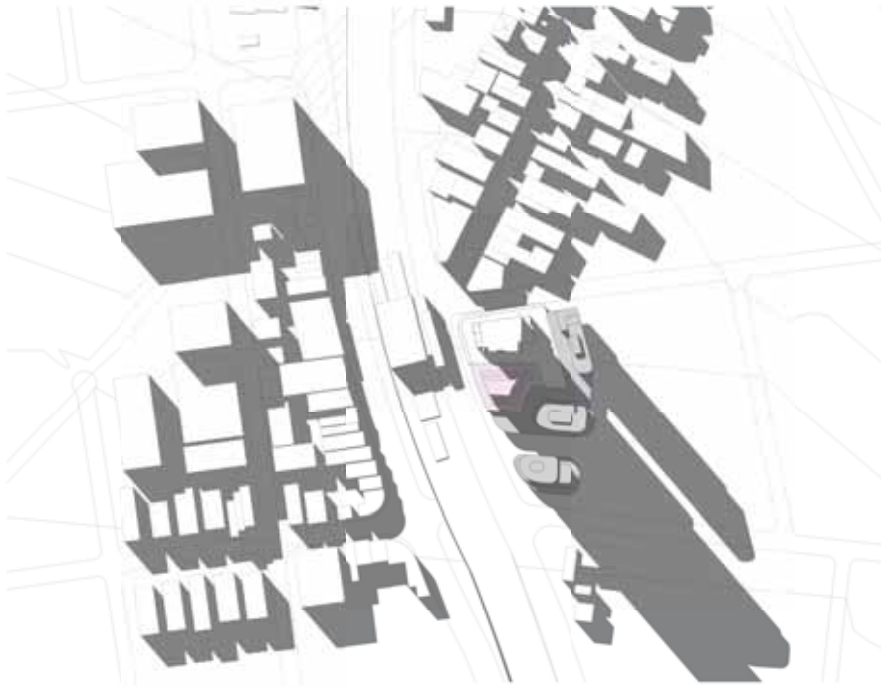
BM 300 / P001889_LangstonR&J_P/L DA_C0814





1 SHADOW DIAGRAM: JUNE 21 - 1 PM

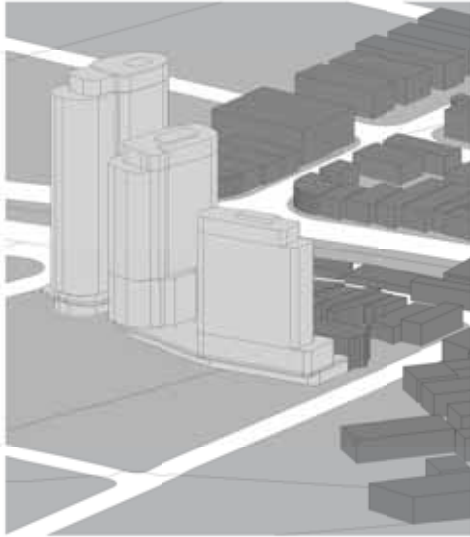
2 SHADOW DIAGRAM: JUNE 21 - 2 PM



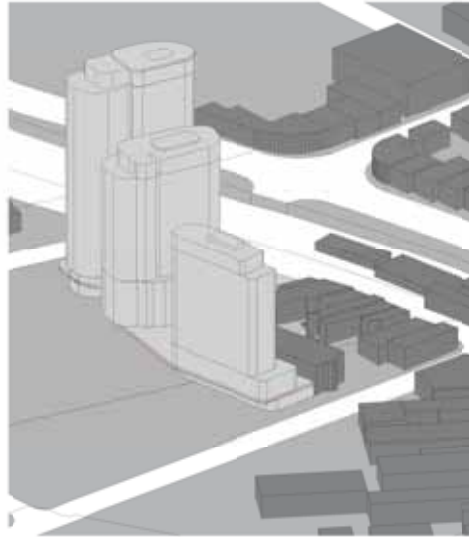
3 SHADOW DIAGRAM: JUNE 21 - 3 PM



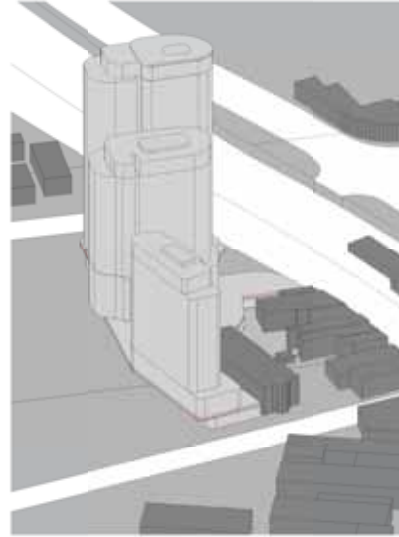
LEGEND:
 FUTURE NORTH DEVELOPMENT
 ADG COMPLIED



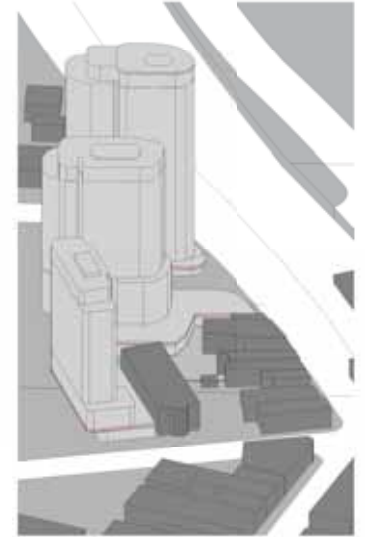
① SUN EYE VIEW: JUNE 21 - 9AM



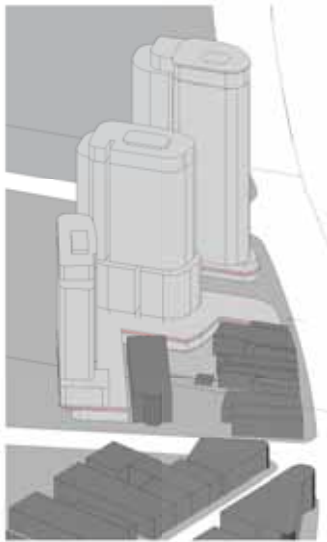
② SUN EYE VIEW: JUNE 21 - 10AM



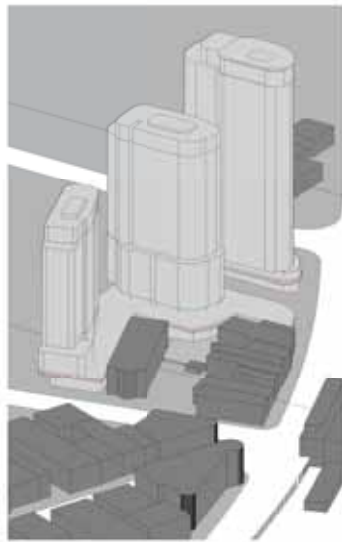
③ SUN EYE VIEW: JUNE 21 - 11AM



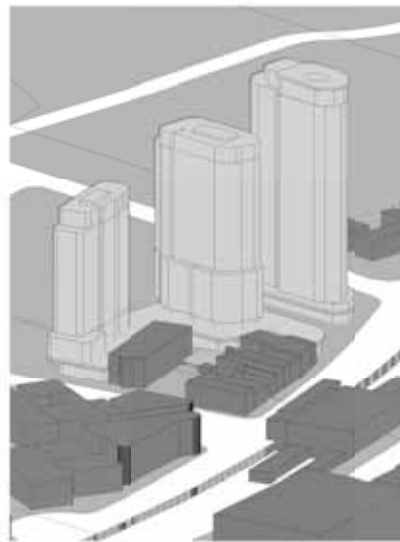
④ SUN EYE VIEW: JUNE 21 - 12PM



⑤ SUN EYE VIEW: JUNE 21 - 1PM

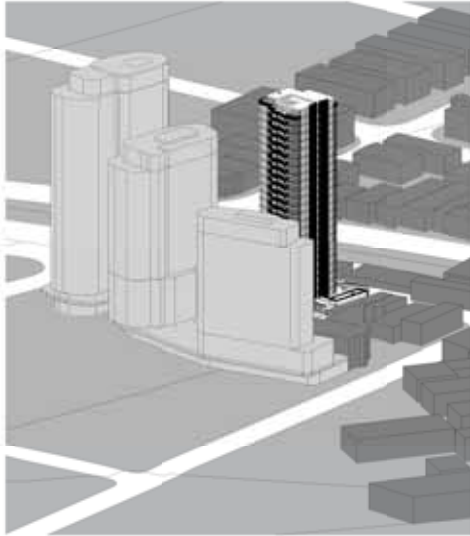


⑥ SUN EYE VIEW: JUNE 21 - 2PM

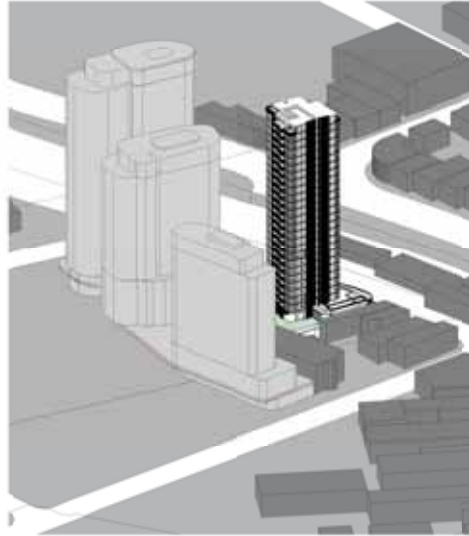


⑦ SUN EYE VIEW: JUNE 21 - 3PM





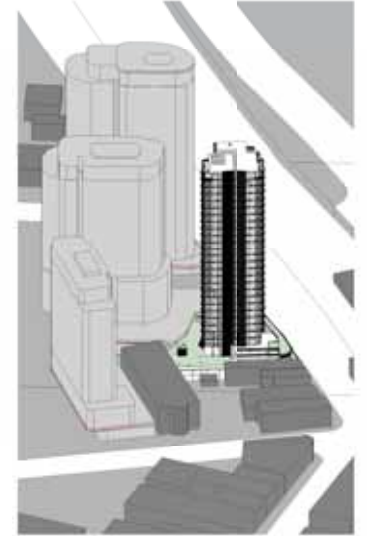
① SUN EYE VIEW: JUNE 21 - 9AM



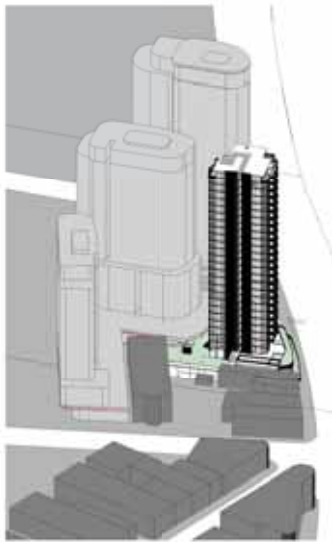
② SUN EYE VIEW: JUNE 21 - 10AM



③ SUN EYE VIEW: JUNE 21 - 11AM



④ SUN EYE VIEW: JUNE 21 - 12PM



⑤ SUN EYE VIEW: JUNE 21 - 1PM

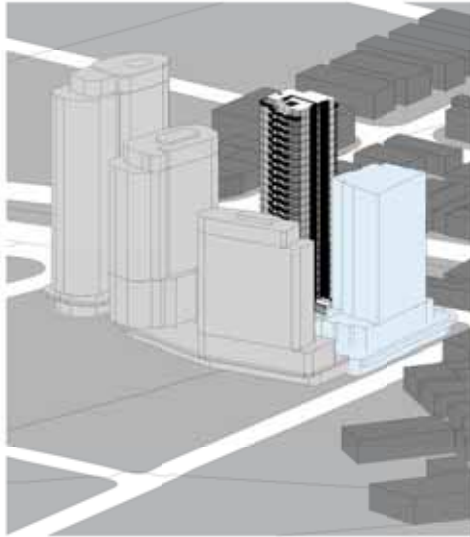


⑥ SUN EYE VIEW: JUNE 21 - 2PM



⑦ SUN EYE VIEW: JUNE 21 - 3PM

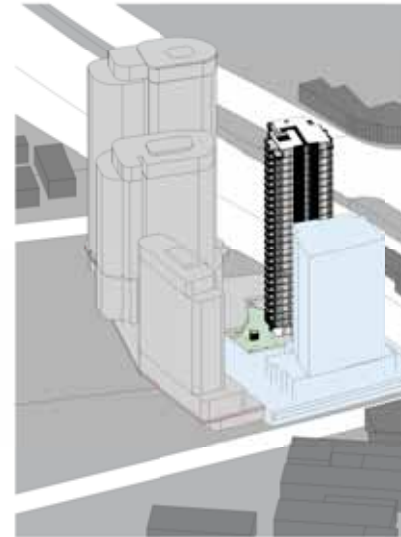




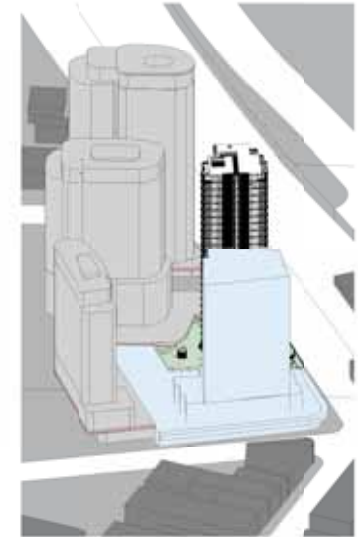
① SUN EYE VIEW: JUNE 21 - 9AM



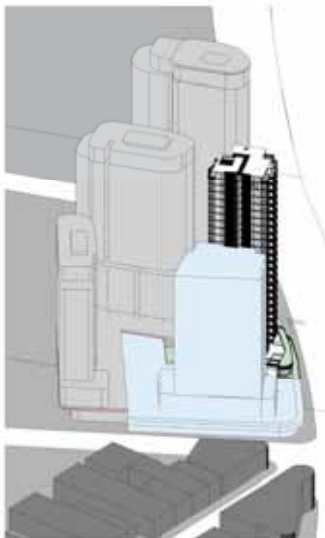
② SUN EYE VIEW: JUNE 21 - 10AM



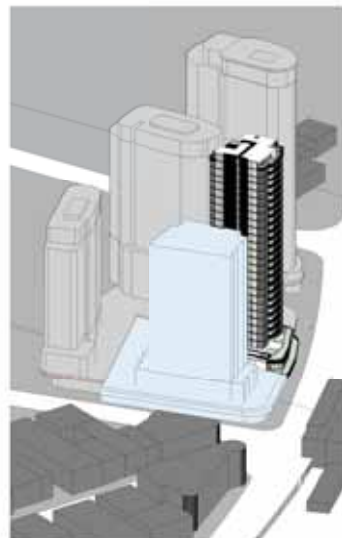
③ SUN EYE VIEW: JUNE 21 - 11AM



④ SUN EYE VIEW: JUNE 21 - 12PM



⑤ SUN EYE VIEW: JUNE 21 - 1PM



⑥ SUN EYE VIEW: JUNE 21 - 2PM



⑦ SUN EYE VIEW: JUNE 21 - 3PM



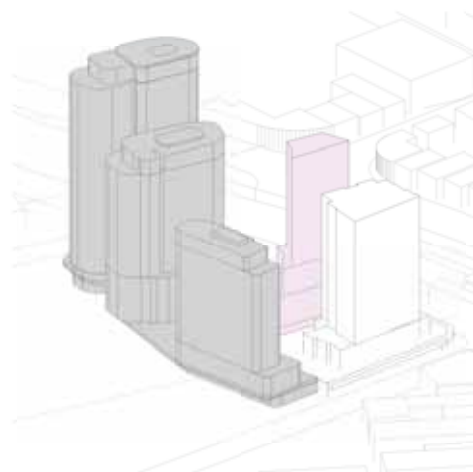
LEGEND:

□ FUTURE NORTH DEVELOPMENT

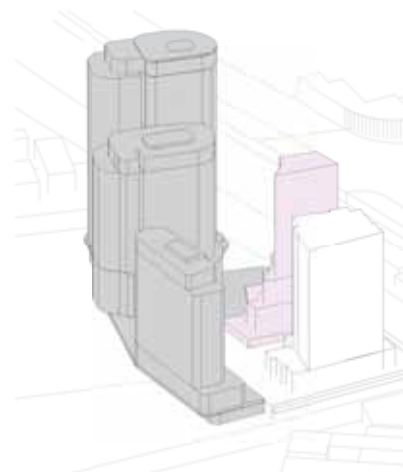




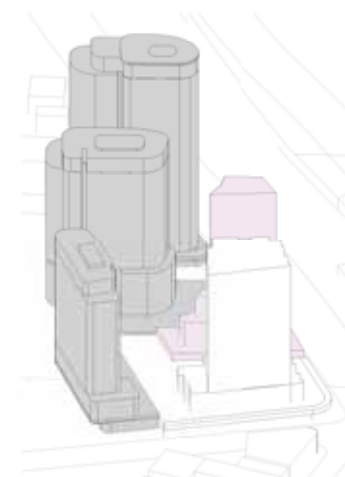
① SUN EYE VIEW: JUNE 21 - 9AM



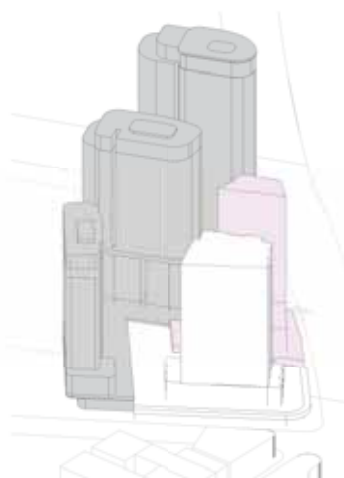
② SUN EYE VIEW: JUNE 21 - 10AM



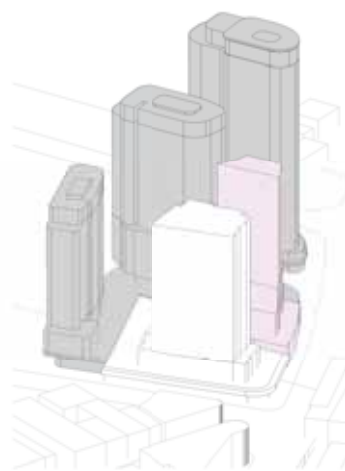
③ SUN EYE VIEW: JUNE 21 - 11AM



④ SUN EYE VIEW: JUNE 21 - 12PM



⑤ SUN EYE VIEW: JUNE 21 - 1PM



⑥ SUN EYE VIEW: JUNE 21 - 2PM

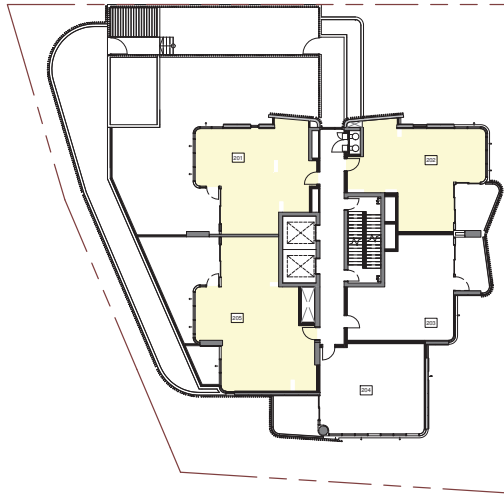


⑦ SUN EYE VIEW: JUNE 21 - 3PM

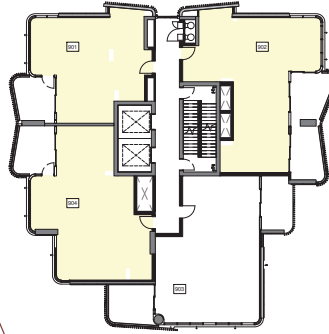


LEGEND:
 FUTURE NORTH DEVELOPMENT
 ADG COMPLIED

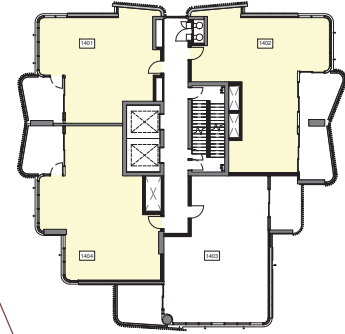




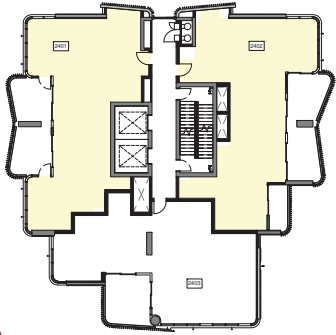
2 LEVEL 02 - 08
1 : 200



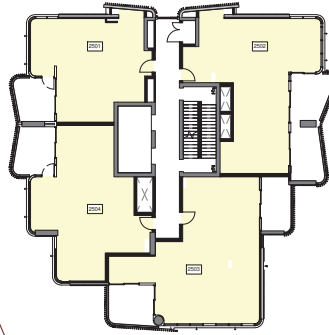
1 LEVEL 09 - 13
1 : 200



3 LEVEL 14 - 23
1 : 200



4 LEVEL 24
1 : 200

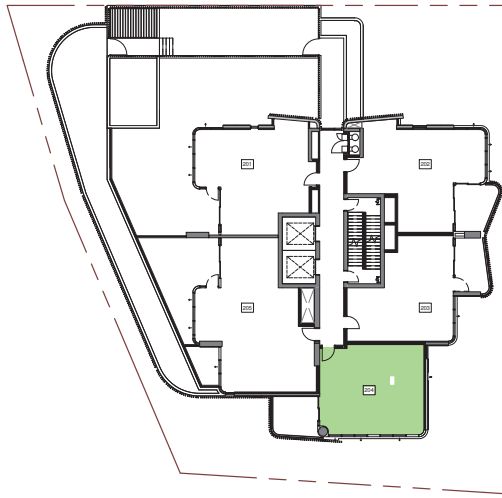


5 LEVEL 25
1 : 200

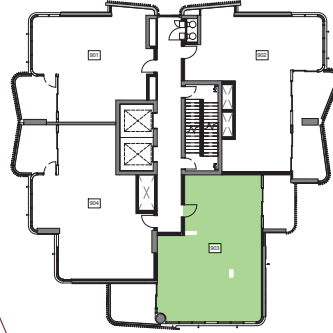
DA_SUN COMPLIANCE			
SolarCompliance	Total	Percentage	
No	30	29.4%	
Yes	72	70.6%	
TOTAL: 102	102	100.0%	

DA_SOLAR COMPLIANCE BY LEVEL			
Level	Total number of units	Number of Units Comply	
LEVEL 25	4	4	
LEVEL 24	3	2	
LEVEL 23	4	3	
LEVEL 22	4	3	
LEVEL 21	4	3	
LEVEL 20	4	3	
LEVEL 19	4	3	
LEVEL 18	4	3	
LEVEL 17	4	3	
LEVEL 16	4	3	
LEVEL 15	4	3	
LEVEL 14	4	3	
LEVEL 13	4	3	
LEVEL 12	4	3	
LEVEL 11	4	3	
LEVEL 10	4	3	
LEVEL 09	4	3	
LEVEL 08	5	3	
LEVEL 07	5	3	
LEVEL 06	5	3	
LEVEL 05	5	3	
LEVEL 04	5	3	
LEVEL 03	5	3	
LEVEL 02	5	3	
TOTAL: 102	102	72	

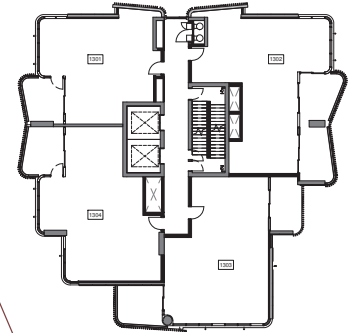




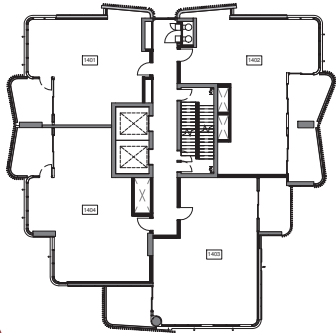
1 LEVEL 02 - 08
1 : 200



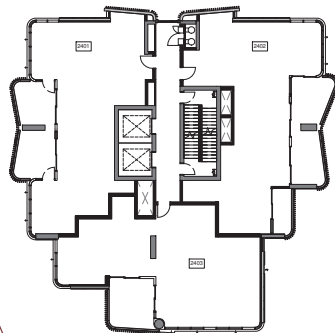
2 LEVEL 09 - 12
1 : 200



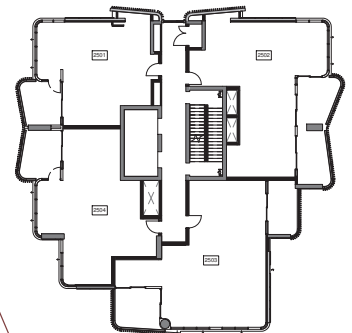
6 LEVEL 13
1 : 200



3 LEVEL 14 - 23
1 : 200



4 LEVEL 24
1 : 200

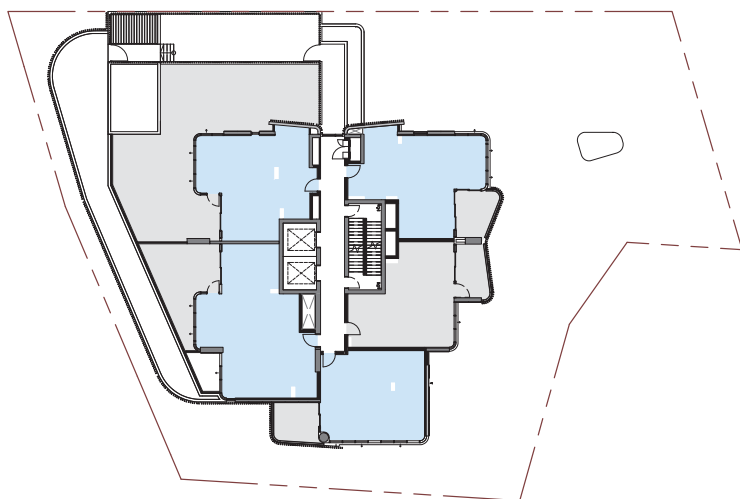


5 LEVEL 25
1 : 200

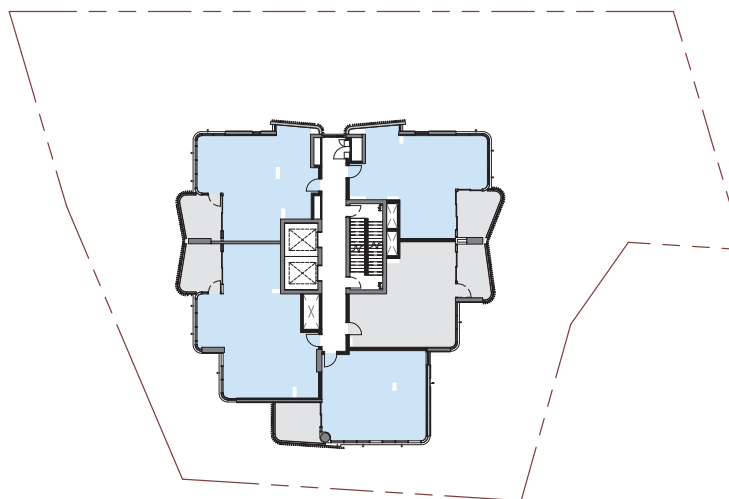


DA_ZERO SOLAR ACCESS BY LEVEL		
Level	Unit	
LEVEL 12	1203	
LEVEL 11	1103	
LEVEL 10	1003	
LEVEL 09	903	
LEVEL 08	804	
LEVEL 07	704	
LEVEL 06	604	
LEVEL 05	504	
LEVEL 04	404	
LEVEL 03	304	
LEVEL 02	204	
TOTAL: 11		

DA_ZERO SOLAR ACCESS		
SOLAR ACCESS	COUNT	PERCENTAGE
0HRS	11	10.8%



1 LEVEL 02
1 : 200

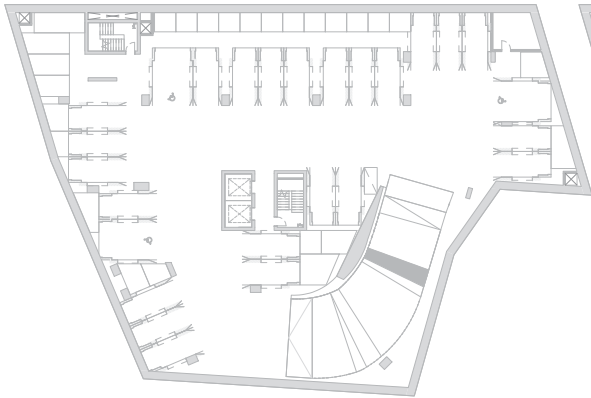


2 LEVEL 03 - 08
1 : 200

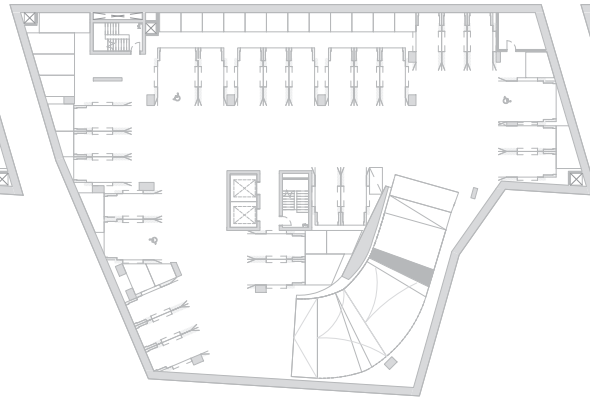
DA_CROSS VENTILATION UP TO LEVEL 8		
Cross Ventilation	Total	Percentage
No	7	20%
Yes	28	80%
TOTAL:	35	100%

DA_CROSS VENTILATION UP TO LEVEL 8 B...		
Level	Total Number of Units	Number of Units Cross Ventilated
LEVEL 00	1	0
LEVEL 01	2	0
LEVEL 02	5	4
LEVEL 03	5	4
LEVEL 04	5	4
LEVEL 05	5	4
LEVEL 06	5	4
LEVEL 07	5	4
LEVEL 08	5	4
Total:	38	28

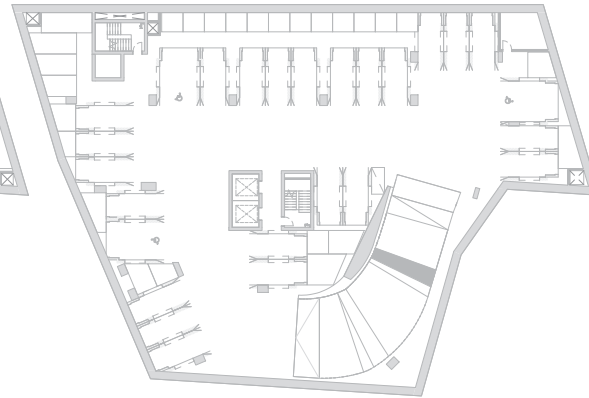




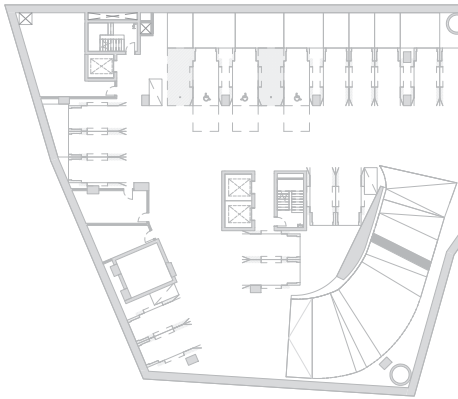
GFA_B04



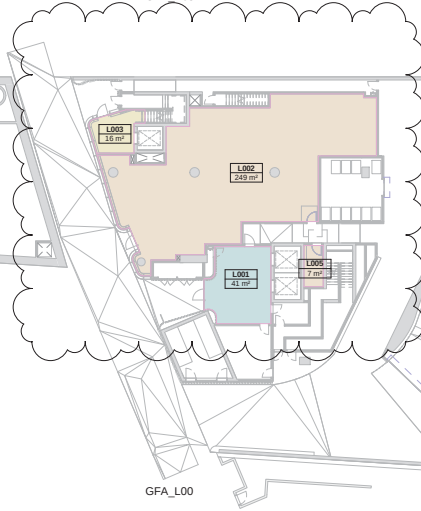
GFA_B03



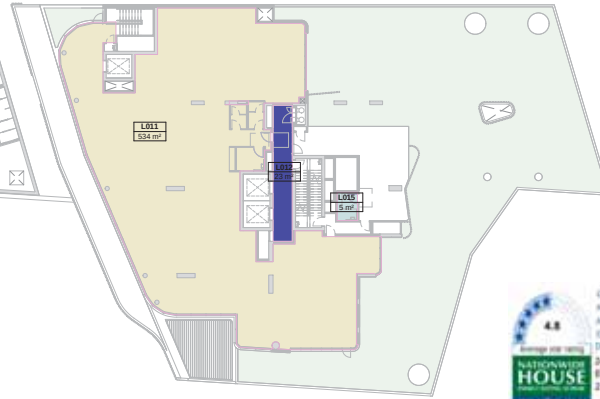
GFA_B02



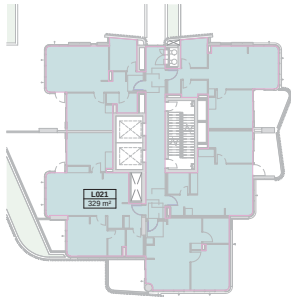
GFA_B01



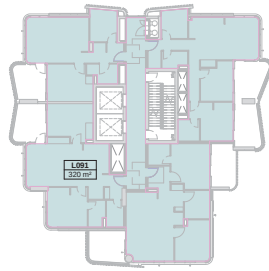
GFA_L00



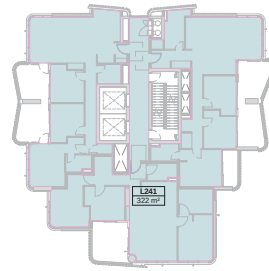
GFA_L01



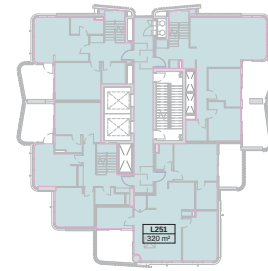
GFA_L02-L08



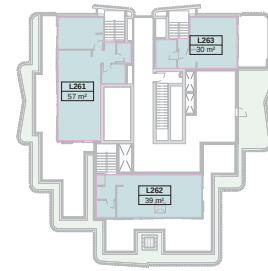
GFA_L09-L23



GFA_L24



GFA_L25



GFA_L26

DA_GFA SCHEDULE				
Level	Levels Applied	Name	Area	GFA
LEVEL 00	L00	COMMERCIAL	16 m²	16 m²
LEVEL 00	L00	RESIDENTIAL		50 m²
LEVEL 00	L00	RETAIL		256 m²
LEVEL 01	L01	COMMERCIAL	534 m²	534 m²
LEVEL 01	L01	CORRIDOR	23 m²	23 m²
LEVEL 01	L01	RESIDENTIAL	5 m²	5 m²
LEVEL 02	L02-08	RESIDENTIAL	329 m²	2304 m²
LEVEL 09	L09-23	RESIDENTIAL	320 m²	4804 m²
LEVEL 24	L24	RESIDENTIAL	322 m²	322 m²
LEVEL 25	L25	RESIDENTIAL	320 m²	320 m²
LEVEL 26	L26	RESIDENTIAL		126 m²
TOTAL				8760 m²

GFA SCHEDULE			
Level	Levels Applied	Area	GFA
COMMERCIAL			
LEVEL 00	L00	16 m²	16 m²
LEVEL 01	L01	534 m²	534 m²
RESIDENTIAL			
LEVEL 00	L00		50 m²
LEVEL 01	L01		26 m²
LEVEL 02	L02-08	329 m²	2304 m²
LEVEL 09	L09-23	320 m²	4804 m²
LEVEL 24	L24	322 m²	322 m²
LEVEL 25	L25	320 m²	320 m²
LEVEL 26	L26		126 m²
			7936 m²
RETAIL			
LEVEL 00	L00		256 m²
			256 m²
TOTAL			8760 m²







ARTIST'S IMPRESSION



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MATERIAL BOARD



[A05b] PAINT FINISH
KEIM 9490 (GREY)
Applied to Mansory/concrete

[A05a] PAINT FINISH
KEIM 9398 (WHITE)
Applied to Mansory/concrete

[A05C] PAINT FINISH
KEIM 9529 (BROWN)
Applied to Mansory/concrete

[A06] ALUMINIUM COMPOSITE PANEL WITHIN
VITRA CORE SMOKE SILVER METALIC
Applied to infill panel within window framem

[A09] GLAZED BRICK
AUSTRALBRICKS ALLURE KOKO
Applied to Retail wall

[A08] TIMBER LOOK ALUMINIUM SLOTS
VOVET EVER ART WOOD
Applied to Canopy soffit, Entrance wall

[A01] [A03] [A04] ANODIZED ALUMINIUM
UNIVERSAL ANODISISES PALE BRONZE
Applied to Window frame, Vertical slots, balustrade, canopy facia

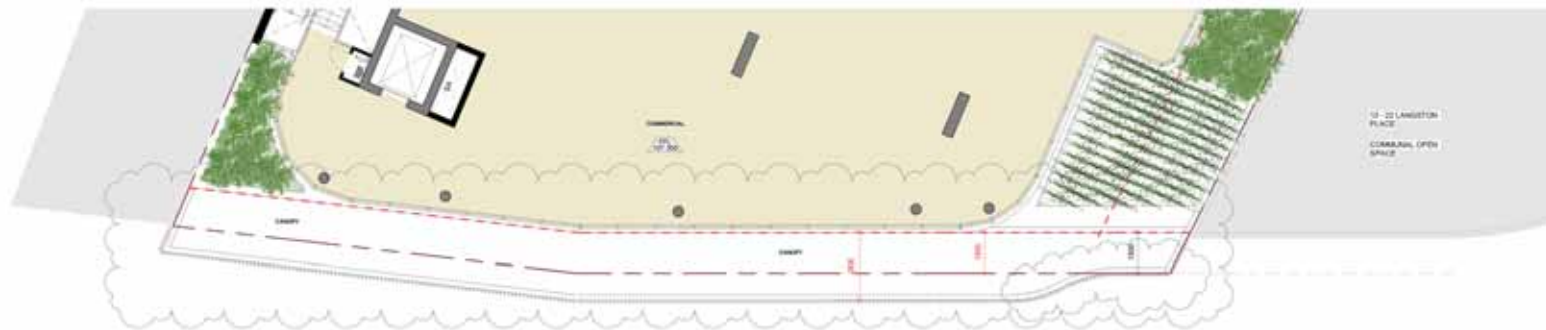
[A01] [A02] CLEAR GLASS
Applied to Window, Balastrade

MATERIAL CODES ARE REFERENCED TO ELEVATIONS DRAWINGS

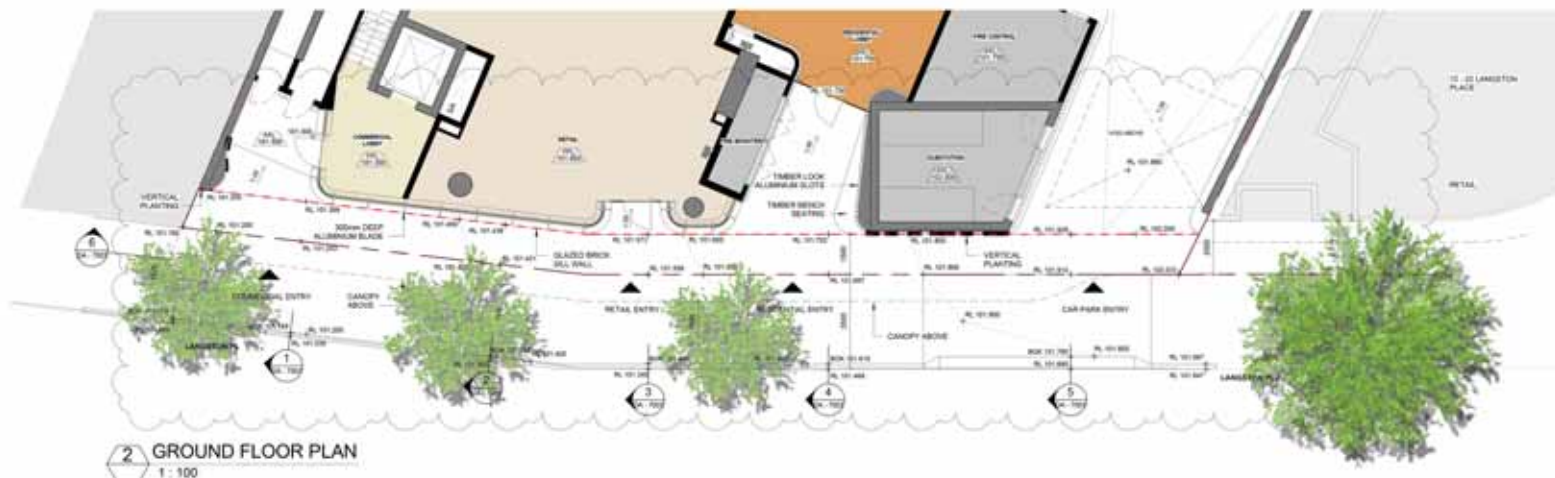
BM 300 (P)011809_LangstonR&J_P/L DA_C01-04



1 ELEVATION PODIUM
1 : 100



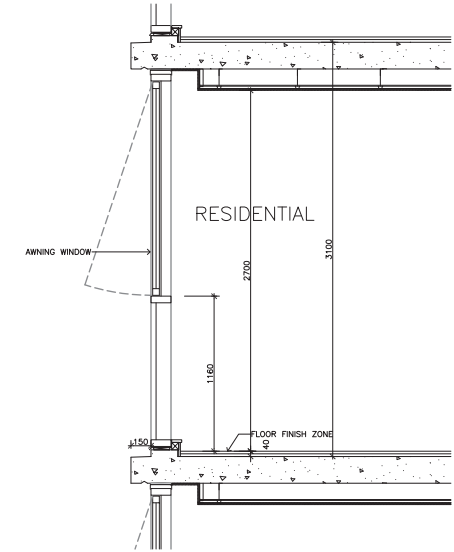
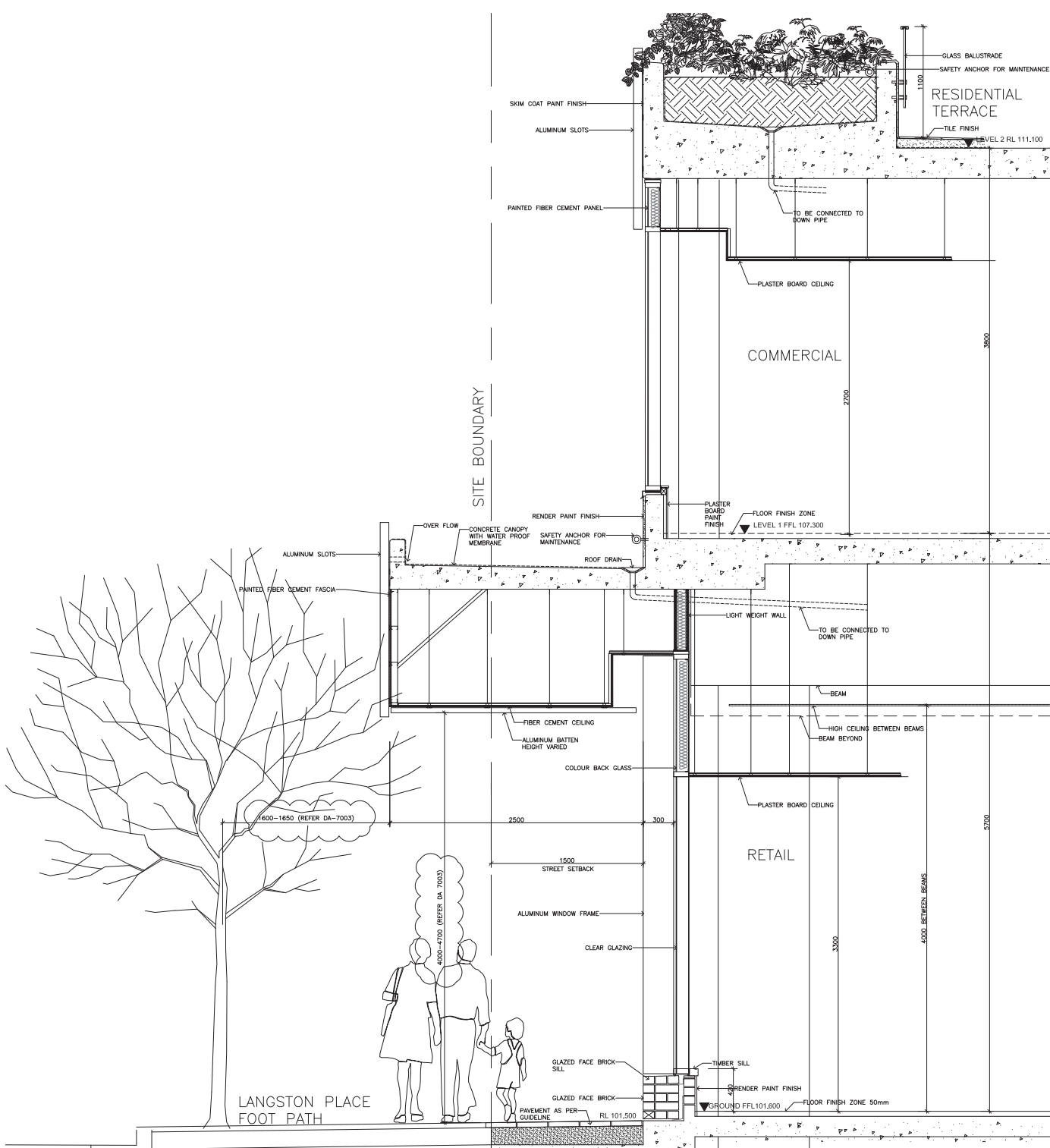
3 LEVEL 1 PLAN
1 : 100



2 GROUND FLOOR PLAN
1 : 100

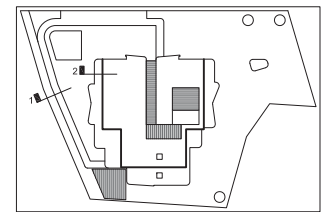
MATERIAL LEGEND

- A01 Aluminum Frame Windows And Doors. Colour Pale Bronze
- A02 Glass Balustrade
- A03 Aluminum Vertical Slots. Colour Pale Bronze
- A04 Aluminum Slots Balustrade. Colour Anodised Pale Bronze
- A05a Paint Finish (White)
- A05b Paint Finish (Grey)
- A05c Paint Finish (Silver)
- A06 Silver Metallic Aluminum Composite Panel
- A08 Timber Look Aluminum Slots
- A09 Brick Wall
- A10 Vertical Planting

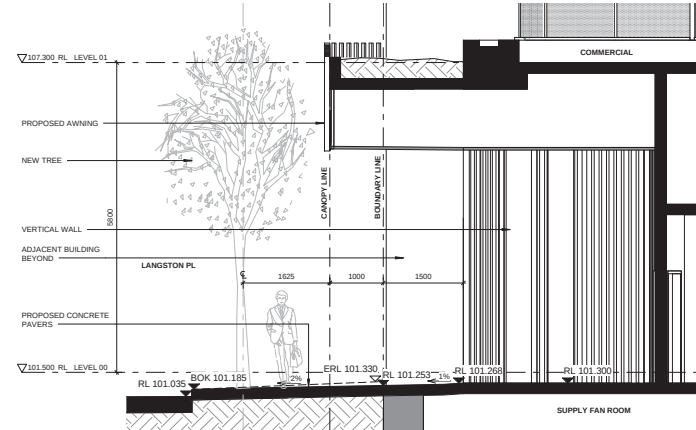


2 TYPICAL TOWER SECTION
1:20

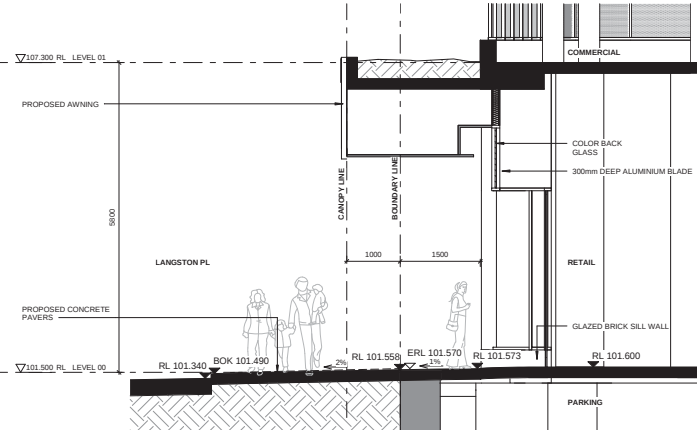
1 PODIUM SECTION
1:20



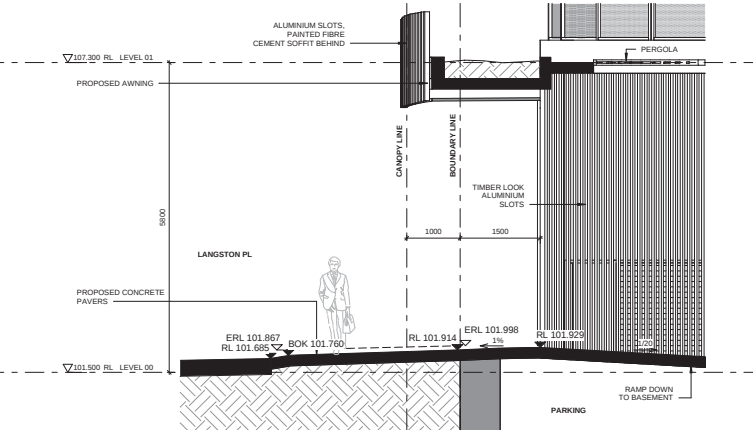
DESIGN INTENT ONLY



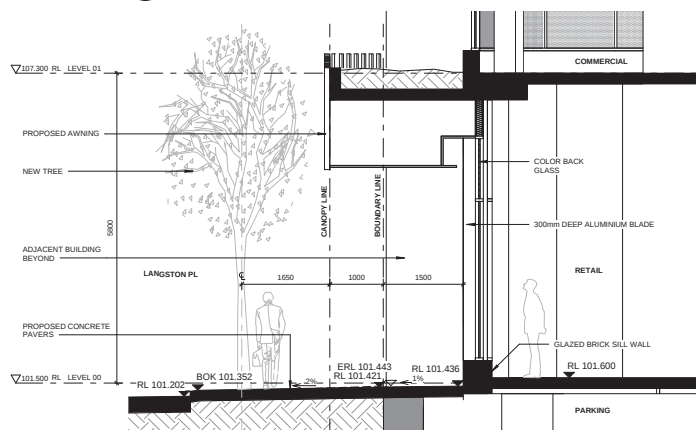
1 SECTION 01
1:50



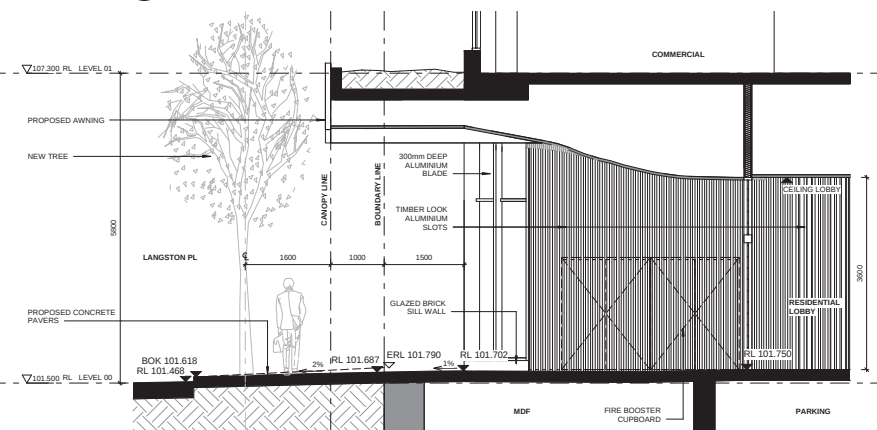
3 SECTION 03
1:50



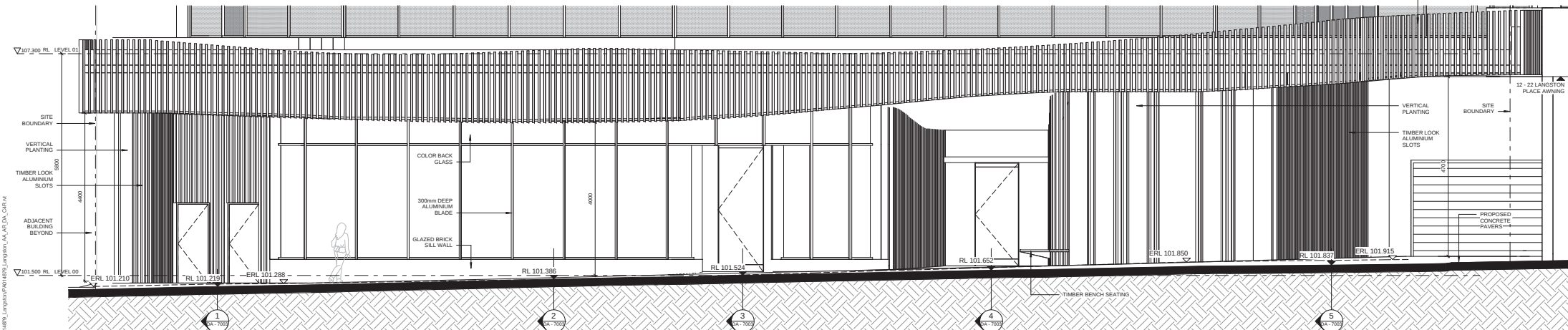
5 SECTION 05
1:50



2 SECTION 02
1:50



4 SECTION 04
1:50



6 SECTION 06
1:50

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